

# CAMP ALLEN DINING HALL

56 CAMP ALLEN ROAD  
BEDFORD, NH 03110

## CAMP ALLEN

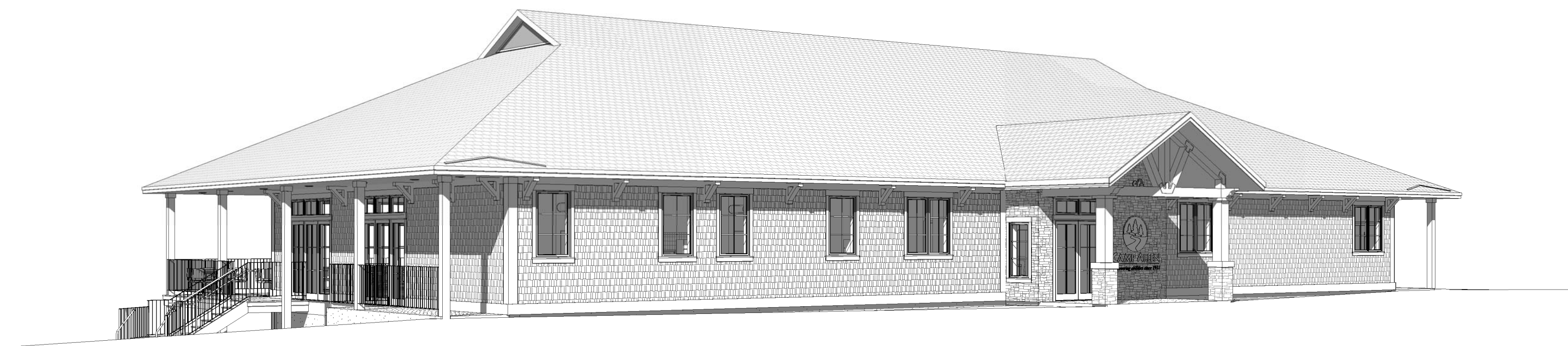
56 CAMP ALLEN ROAD  
BEDFORD, NH  
03110

## HARVEY CONSTRUCTION

CONSTRUCTION MANAGER  
10 HARVEY ROAD  
BEDFORD, NH, 03110  
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## WARRENSTREET ARCHITECTS, INC.

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CIVIL	LANDSCAPE	ARCHITECTURE	STRUCTURAL	MECHANICAL/PLUMBING	ELECTRICAL	KITCHEN DESIGN	PROJECT:						
FUSS & O'NEILL 50 COMMERCIAL STREET, UNIT 25 MANCHESTER, NH, 03101 P. (603) 668-8223	WARRENSTREET ARCHITECTS, INC. 27 WARREN STREET CONCORD, NH 03301 P. (603) 225-0640 F. (603) 225-0621	WARRENSTREET ARCHITECTS, INC. 27 WARREN STREET CONCORD, NH 03301 P. (603) 225-0640 F. (603) 225-0621	TF MORAN, INC. 48 CONSTITUTION DRIVE BEDFORD, NH, 03110 P. (603) 472-4488	WV ENGINEERING ASSOC. 11 KING CT. KEENE, NH, 03431 P. (603) 352-7007	WV ENGINEERING ASSOC. 11 KING CT. KEENE, NH, 03431 P. (603) 352-7007	ALTERNATE SALES 135 ROUTE 125 KINGSTON, NH, 03848 P. (603) 642-3873	CAMP ALLEN DINING HALL  PROJECT NUMBER: 3614						
COVER SHEET GENERAL NOTES PLAN EXISTING CONDITIONS PLAN DEMOLITION PLAN GRADING & DRAINAGE PLAN UTILITY PLAN EROSION & SEDIMENT CONTROL PLAN PAVEMENT, WALL & SIGNAGE DETAILS EROSION & SEDIMENT CONTROL DETAILS EROSION & SEDIMENT CONTROL DETAILS UTILITY DETAILS	GI-001 CN-001 CP-101 CP-101 CG-101 GU-101 CE-101 CD-501 CD-502 CD-503 CD-504	TBD	CONSTRUCTION NOTES, LOCUS PLAN & CONSTRUCTION SIGN ADA, CONVERSIONS, SYMBOLS, SIGNAGE & ABBREVIATIONS CODE REVIEW CODE PLANS SITE PLAN FIRST FLOOR PLAN BASEMENT FLOOR PLAN FIRST FLOOR DIMENSION PLAN BASEMENT DIMENSION PLAN FOUNDATION PLAN FINISH PLANS REFLECTED CEILING PLANS ROOF PLAN EXTERIOR ELEVATIONS BUILDING SECTIONS EXTERIOR STAIR & DECK DETAILS WALL SECTIONS WALL SECTIONS ENLARGED PLANS AND INTERIOR ELEVATIONS ENLARGED PLAN, INT. ELEV'S, CASEWORK DETAILS, & ACCESSORIES LEGEND PARTITION TYPES DOOR & WINDOW SCHEDULES & ELEVATIONS	A001 A002 A003 A004 A100 A111 A112 A121 A122 A123 A131 A141 A151 A201 A301 A311 A321 A322 A401 A402 A601 A603	GENERAL STRUCTURAL NOTES GENERAL STRUCTURAL NOTES GENERAL STRUCTURAL NOTES STATE OF SPECIAL INSPECTIONS FOUNDATION & BASEMENT FLOOR SLAB ON GRADE FIRST FLOOR FRAMING PLAN ROOF FRAMING PLAN TYPICAL FOUNDATION DETAILS TYPICAL FOUNDATION DETAILS FOUNDATION SECTIONS STEEL COLUMN SCHEDULE & STEEL PLATE BASE/CONCRETE PIER DETAILS TYPICAL FRAMING DETAILS TYPICAL FRAMING DETAILS TYPICAL FRAMING DETAILS TYPICAL FRAMING DETAILS TYPICAL FRAMING DETAILS	S001 S002 S003 S004 S101 S102 S103 S201 S202 S203 S301 S302 S303 S304 S305 S306	PLUMBING SCHEDULES AND DETAILS PLUMBING BURIED PLAN PLUMBING BASEMENT PLAN PLUMBING FIRST FLOOR PLAN  MECHANICAL SCHEDULES AND DETAILS MECHANICAL BASEMENT PLAN MECHANICAL FIRST FLOOR PLAN MECHANICAL ATTIC PLAN	P-1 P-2 P-3 P-4  M-1 M-2 M-3 M-4	ELECTRICAL SYMBOL LIST AND DETAILS ELECTRICAL BASEMENT POWER & DATA PLAN ELECTRICAL FIRST FLOOR POWER & DATA PLAN ELECTRICAL ATTIC POWER & DATA PLAN ELECTRICAL PARTIAL KITCHEN PLAN ELECTRICAL BASEMENT LIGHTING PLAN ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL ATTIC LIGHTING ELECTRICAL BASEMENT FIRE ALARM PLAN ELECTRICAL FIRST FLOOR FIRE ALARM PLAN ELECTRICAL ATTIC FIRE ALARM PLAN	E-1 E-2 E-3 E-4 E-5 E-6 E-7 E-8 E-9 E-10 E-11	KITCHEN PLAN & EQUIPMENT SCHEDULE	FS-1	ISSUE:  NOT FOR CONSTRUCTION DESIGN DEVELOPMENT  ISSUE DATE: 3/31/2020  ARCHITECT OF RECORD



PROJECT GENERAL REQUIREMENTS

GENERAL REQUIREMENTS

THE ARCHITECTURAL GENERAL REQUIREMENTS ARE PROVIDED TO SUPPLEMENT, WHEN PROVIDED, A WRITTEN PROJECT MANUAL (SPECIFICATIONS). THE MORE STRINGENT REQUIREMENT SHALL ALWAYS PREVAIL.

01 00 01 - SCHEDULE OF ALTERNATES

A. SEE BID FORM (IF APPLICABLE).

01 00 02 - WORK UNDER OTHER CONTRACTS

A. SEE BID FORM (IF APPLICABLE).

01 00 03 - SCHEDULE

- A. THE WORK WILL START WITHIN 5 DAYS OF SIGNING OF THE CONTRACT.
B. THE COMPLETION DATE WILL BE SELECTED BY THE CONTRACTOR AND BE PART OF HIS BID SUBMISSION. THAT COMPLETION DATE WILL BE PART OF THE CONSTRUCTION CONTRACT.
C. NO EXTRA PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DELAY BEYOND THE CONTROL OF THE OWNER (I.E. WEATHER, WAR, STRIKE, ETC.) HOWEVER ADDITIONAL CONTRACT TIME MAY BE GRANTED UPON APPROVAL BY THE OWNER.
D. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A PROGRESS WORK SCHEDULE BEFORE WORK COMMENCES AND KEEP THAT SCHEDULE UPDATED.

01 00 04 - CONTRACT DOCUMENTS

- A. THE GENERAL PROVISIONS OF THE CONTRACT - AIA 101.
B. THE GENERAL CONDITIONS OF THE CONTRACT - AIA 201.
C. THE SUPPLEMENTARY CONDITIONS OF THE CONTRACT.
D. THE DRAWINGS AND SPECIFICATIONS.

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER, AND ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS AND/OR OTHER CONDITIONS PRIOR TO BEGINNING OR CONTINUING WITH ANY WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VARIATION OR DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT APPROVAL AND WRITTEN CONFIRMATION FROM THE ARCHITECT. WRITTEN DIMENSIONS SHALL TAKE PRECEDENT OVER SCALED DIMENSIONS. DRAWINGS SHALL NOT BE SCALED.

01 00 05 - AGREEMENT FORMS

A. SEE BID FORM (IF APPLICABLE).

01 00 06 - PERFORMANCE AND PAYMENT BONDS

A. SEE BID FORM (IF APPLICABLE).

01 00 07 - INSURANCES

A. SEE BID FORM (IF APPLICABLE).

01 00 08 - PAYMENT / REQUISITIONS

- A. THE CONTRACTOR SHALL SUBMIT NO MORE THAN ONCE A MONTH, MONTHLY REQUISITIONS FOR PAYMENT (AIA FORM G702) TO THE ARCHITECT AND OWNER.
B. PAYMENT DATES WILL BE COORDINATED WITH THE OWNER'S PAYMENT SCHEDULES AT THE TIME OF THE CONTRACT SIGNING. A SCHEDULE FOR REQUISITIONS AND REVIEWS WILL BE DETERMINED AT THAT TIME.
C. RETAINAGE IN THE AMOUNT OF 10% WILL BE HELD AT EACH AND EVERY REQUISITION. RETAINAGE WILL BE PAID AT THE END OF THE WORK WITH THE FINAL PAYMENT IF ALL CONDITIONS OF THE CONTRACT ARE FULFILLED.
D. LIEN WAIVERS, (AIA FORM G706A) AND PAYMENT AFFIDAVITS (AIA FORM G706) SHALL BE REQUIRED FROM THE CONTRACTOR, ALL SUB CONTRACTORS AND VENDORS AT ALL PAYMENT REQUISITIONS, INCLUDING THE FINAL REQUISITION, BEFORE ANY PAYMENT NEED BE MADE BY THE OWNER.
E. THE OWNER SHALL HAVE THE RIGHT TO REVIEW THE PAYMENT APPLICATION AND REJECT SAME IF IN THEIR OPINION PAYMENT IS NOT WARRANTED.

01 00 09 - CHANGE ORDERS AND EXTRA WORK

A. OVERHEAD AND PROFIT MARKUPS WILL BE AT A SPECIFIC RATE AS SPECIFIED ON THE BID FORM.

01 00 10 - PROJECT SIGNAGE

A. THE CONTRACTOR WILL ERECT A SIGN ON THE PROJECT SITE DESCRIBING THE PROJECT AS SHOWN ON THE DRAWINGS.

01 00 11 - SUBMITTALS

- A. SUBMITTAL COORDINATION, PREPARATION AND PROCESSING SHALL INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
1. CERTIFICATES OF INSURANCE. (AT START)
2. SCHEDULE OF VALUES. (AT START)
3. CONSTRUCTION SCHEDULE. (WEEKLY)
4. SHOP DRAWINGS AS REQUIRED AND REQUESTED IN THE SPECIFICATIONS, PRODUCTS AND INSTALLATION TECHNIQUES NEED TO BE APPROVED BY THE ARCHITECT, AND OWNER AND OR CITY.
5. PRODUCT DATA AS REQUIRED AND REQUESTED IN THE SPECIFICATIONS.
6. SAMPLES AS REQUIRED AND REQUESTED IN THE SPECIFICATIONS.
7. OPERATIONS AND MAINTENANCE MANUALS AS REQUESTED IN THE SPECIFICATIONS. (AT SUBSTANTIAL COMPLETION)
8. WARRANTIES AS REQUESTED IN THE SPECIFICATIONS. (AT SUBSTANTIAL COMPLETION)
9. RECORD DRAWINGS AS REQUESTED IN THE SPECIFICATIONS. (AT FINAL COMPLETION)
10. RELEASE OF LIENS. (AT EACH PAY REQUISITION)
11. SAFETY PLAN. (AT START)
B. UNLESS OTHERWISE SPECIFIED, TRANSMIT 5 COPIES OF THE SUBMITTAL TO THE ARCHITECT WELL IN ADVANCE OF PERFORMANCE OF RELATED CONSTRUCTION ACTIVITIES TO AVOID DELAY. ALLOW NO LESS THAN FOURTEEN CALENDAR DAYS FOR REVIEW. NO EXTENSION OF CONTRACT TIME WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS TO THE ARCHITECT SUFFICIENTLY IN ADVANCE OF THE WORK TO PERMIT PROCESSING.
C. PREPARE A FULLY DEVELOPED, CONTRACTOR'S CONSTRUCTION SCHEDULE "CPM". SUBMIT WITHIN THREE DAYS OF THE DATE ESTABLISHED FOR COMMENCEMENT OF THE WORK. THIS SCHEDULE SHALL BE UPDATED BI-WEEKLY.

01 00 12 - PRELIMINARY SITE VISIT/ PROJECT MEETINGS

- A. THE CONTRACTORS MUST VISIT THE LOCATION OF THE WORK AND INFORM THEMSELVES OF THE CONDITIONS AND MAKE THEIR OWN ESTIMATES OF THE FACILITIES AND DIFFICULTIES ATTENDING THE EXECUTION OF THE WORK. ANY PROBLEM, DISCREPANCY, OR QUESTION SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / OWNER BEFORE COMMENCING OR CONTINUING WITH ANY WORK. THE FAILURE BY THE CONTRACTOR TO DISCOVER ANY ERROR, INCONSISTENCY, OR OMISSION IN THE CONTRACT DOCUMENTS SHALL NOT RELIEVE HIM OF THE OBLIGATION TO PROPERLY EXECUTE AND COMPLETE THE WORK.
B. THE ARCHITECT SHALL SCHEDULE A PRECONSTRUCTION CONFERENCE AND ORGANIZATIONAL MEETINGS AT THE PROJECT SITE OR OTHER CONVENIENT LOCATION NO LATER THAN THREE DAYS AFTER EXECUTION OF THE CONTRACT AND PRIOR TO COMMENCEMENT OF WORK. THE MEETING WILL BE CONDUCTED TO REVIEW RESPONSIBILITIES AND PERSONNEL ASSIGNMENTS. MEETING SHALL INCLUDE THE CONTRACTOR, ALL SUBCONTRACTORS, ARCHITECT AND REPRESENTATIVES FROM THE OWNER.
C. CONDUCT WEEKLY OR BI-WEEKLY MEETINGS AT THE PROJECT SITE AT REGULARLY SCHEDULED INTERVALS. NOTIFY THE OWNER AND ARCHITECT OF SCHEDULED MEETING DATES. COORDINATE DATES OR MEETINGS WITH PREPARATION OF PAYMENT REQUEST.

01 00 13 - ALLOWANCES

A. SEE BID FORM.

01 00 14 - ACCESS

- A. MAINTAIN ALL SYSTEMS SUCH AS BUT NOT LIMITED TO, WATER, SEPTIC, TELEPHONE, POWER ETC. THAT SUPPLY THIS AND OTHER BUILDINGS ON THIS SITE OR ADJACENT SITES DURING ALL PHASES OF THE WORK.
B. IF A SHORT PERIOD OF INTERRUPTION IS REQUIRED FOR ANY SYSTEM DURING NON-PEAK WORK HOURS, THE OWNER SHOULD BE OFFERED THE ALTERNATIVE OF ACCEPTING THE INTERRUPTION RATHER THAN INSTALLING A LOOP SERVICE.

01 00 15 - PROJECT SUPERVISION

A. THE CONSTRUCTION MANAGER/ GENERAL CONTRACTOR SHALL PROVIDE DAILY SUPERVISION. THE SUPERINTENDANT ASSIGNED TO THE PROJECT SHALL BE MAINTAINED, FROM START TO FINISH, AND SHALL NOT BE SUBSTITUTED FOR OR REPLACED FOR THE DURATION OF THE PROJECT.

01 00 16 - CONTRACT LIMIT LINES

- A. THE CONTRACT LIMIT LINES ARE DEFINED ON THE CONTRACT DRAWINGS AND WILL BE CONFIRMED AT THE PRECONSTRUCTION CONFERENCE. AT THAT CONFERENCE ALL PARTIES INVOLVED WILL REVIEW THE CONTRACTOR'S REQUIREMENTS FOR STAGING AND STORAGE. STORAGE OF MATERIALS ON SITE IS REQUIRED FOR PAYMENT PROCESSING.
B. DURING THE CONSTRUCTION, CONTRACTOR'S OPERATIONS MUST REMAIN WITHIN THE CONTRACT LIMIT LINES. PORTIONS OF THE SITE BEYOND AREAS IN WHICH CONSTRUCTION OPERATIONS ARE INDICATED ARE NOT TO BE DISTURBED.
C. ANY AREA BEYOND THE CONTRACT LIMIT LINE THAT IS DAMAGED WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE SCOPE OF THE REPAIRS WILL BE APPROVED BY THE OWNER BEFORE SUCH REPAIR WORK IS STARTED.
D. THE CONTRACTOR'S USE OF THE SPECIFIC SITE IS LIMITED ONLY BY THE OWNER'S RIGHT TO PERFORM CONSTRUCTION OPERATIONS WITH HIS OWN FORCES OR TO EMPLOY SEPARATE CONTRACTORS ON PORTIONS OF THE PROJECT OR TENANT FIT-UP.

01 00 17 - SYSTEM MAINTENANCE

- A. DRIVEWAYS AND ENTRANCES SERVING THE PREMISES SHALL BE KEPT CLEAR AND AVAILABLE TO THE OWNER AND THE OWNER'S EMPLOYEES AT ALL TIMES. THESE AREAS SHALL NOT BE FOR THE CONTRACTOR'S PARKING OR STORAGE OF MATERIALS. SCHEDULE DELIVERIES TO MINIMIZE SPACE AND TIME REQUIREMENTS FOR STORAGE OF MATERIALS AND EQUIPMENT ON SITE.
B. PARTIAL OWNER OCCUPANCY: THE OWNER RESERVES THE RIGHT TO OCCUPY, TO PLACE AND /OR INSTALL EQUIPMENT IN COMPLETED AREAS OF THE BUILDING PRIOR TO SUBSTANTIAL COMPLETION, PROVIDED THAT SUCH OCCUPANCY DOES NOT INTERFERE WITH THE COMPLETION OF THE WORK.
C. THE CONTRACTOR SHALL MAINTAIN ONE SET OF RECORD DRAWINGS, RECORDING ALL CHANGES TO THE PLANS.
D. THE CONTRACTOR WILL FILE THESE DRAWINGS WITH THE OWNER AT PROJECT CLOSEOUT.
E. FINAL AS-BUILT DRAWINGS SHALL INCLUDE BUT ARE NOT LIMITED TO HIDDEN WORK, ALL UNDERGROUND UTILITIES, SERVICES AND DISTRIBUTIONS OF WATER, SEWER, ELECTRICAL, TELEPHONE, CABLE, HEATING AND ALL BUILDING DETAILS

01 00 18 - TEMPORARY FACILITIES

- A. CONTRACTORS MAY CONNECT TO THE OWNER'S POWER AND WATER SERVICE FOR TEMPORARY SERVICE. CONNECTIONS TO BE DONE BY LICENSED ELECTRICIAN AND /OR PLUMBERS. LIABILITY AND EXPENSE FOR SAID CONNECTIONS REMAIN THAT OF THE CONTRACTOR.
B. CONTRACTOR TO PROVIDE HIS OWN TELEPHONE SERVICE AND SANITARY SERVICES, WASTE DISPOSAL AND VERMIN CONTROL.
C. UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL PROVIDE TEMPORARY LIGHTING AS REQUIRED TO ENSURE SECURITY AND SAFETY REQUIREMENTS FOR THE DURATION OF THE CONSTRUCTION PERIOD AND UNTIL THE PROJECT IS SIGNED OVER TO THE OWNER OR HIS AGENT AT THE COMPLETION OF THE PROJECT.
D. UNLESS OTHERWISE SPECIFIED, EROSION, SEDIMENTATION CONTROL, AND PREVENTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND WILL BE OF CRITICAL IMPORTANCE TO THE BUILDING OWNER. ALL FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS SHALL BE ADHERED TO WITH RESPECT TO EROSION AND SEDIMENTATION CONTROL, AND PREVENTION.

01 00 19 - PERMITS AND UTILITY CONNECTIONS.

- A. UNLESS OTHERWISE SPECIFIED, THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION PROCESS PERMITS, TEMPORARY AND FINAL UTILITY CHARGES, DEMOLITION AND DUMP CHARGES, OCCUPANCY APPROVALS AND ALL OTHER USUAL FEES ASSOCIATED WITH THIS SCOPE OF THE WORK.

01 00 20 - PROJECT COORDINATION AND ADMINISTRATIVE PROCEDURES

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION METHODS, PROCEDURES, AND CONDITIONS EXCEPT AS SPECIFICALLY INDICATED OTHERWISE IN THE CONTRACT DOCUMENTS.

- A. THE CONTRACTOR SHALL COORDINATE ALL ACTIVITIES INCLUDED UNDER VARIOUS SECTIONS OF THESE SPECIFICATIONS TO ASSURE EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK. CONTRACTOR SHALL COORDINATE CONSTRUCTION OPERATIONS INCLUDED UNDER DIFFERENT SECTIONS OF THE SPECIFICATIONS THAT ARE DEPENDENT ON EACH OTHER FOR PROPER INSTALLATION, CONNECTION AND OPERATION.
B. THE CONTRACTOR SHALL MAKE ADEQUATE PROVISION TO ACCOMMODATE ITEMS SCHEDULED FOR LATER INSTALLATION.
C. WHERE AVAILABILITY OF SPACE OR HEADROOM IS LIMITED, CONTRACTOR SHALL COORDINATE INSTALLATION OF DIFFERENT COMPONENTS TO ASSURE MAXIMUM ACCESSIBILITY FOR REQUIRED MAINTENANCE, SERVICE AND REPAIR.
D. THE CONTRACTOR SHALL PREPARE, WHEN NECESSARY, MEMOS TO ADVISE ALL PARTIES WHEN SPECIAL COORDINATION OR INSTALLATIONS ARE REQUIRED. THESE MEMOS TO OWNER, ARCHITECT, AND ALL CONSULTANTS.
E. COORDINATE SCHEDULING AND TIMING OF ADMINISTRATIVE PROCEDURES WITH OTHER CONSTRUCTION ACTIVITIES TO AVOID CONFLICTS AND ENSURE THE ORDERLY PROGRESS OF THE WORK. SUCH ACTIVITIES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
1. PREPARATION OF SCHEDULES.
2. INSTALLATIONS AND REMOVAL OF TEMP FACILITIES.
3. DELIVERY AND PROCESSING OF SUBMITTALS.
4. PROGRESS MEETINGS.
5. PROJECT CLOSE OUT ACTIVITIES.
F. PREPARE AND SUBMIT COORDINATION DRAWINGS WHERE CLOSE AND CAREFUL COORDINATION IS REQUIRED FOR INSTALLATION OF PRODUCTS AND MATERIALS FABRICATED OFF SITE BY SEPARATE ENTITIES AND WHERE LIMITED SPACE AVAILABILITY NECESSITATES MAXIMUM UTILIZATION OF DIFFERENT COMPONENTS.
G. REQUIRE THE INSTALLER OF EACH MAJOR COMPONENT TO INSPECT BOTH THE SUBSTRATE AND CONDITION UNDER WHICH THE WORK IS TO BE PERFORMED. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED IN AN ACCEPTABLE MANNER.
H. COMPLY WITH MANUFACTURERS' INSTRUCTIONS AND RECOMMENDATIONS TO THE EXTENT THAT THOSE INSTRUCTIONS AND RECOMMENDATIONS ARE MORE EXPLICIT OR STRINGENT THAN THOSE REQUIREMENTS CONTAINED IN THE CONTRACTED DOCUMENTS.
I. INSPECT MATERIALS OR EQUIPMENT IMMEDIATELY UPON DELIVERY AND AGAIN PRIOR TO INSTALLATION. REJECT ANY DAMAGED OR DEFECTIVE EQUIPMENT OR MATERIALS.
J. PROVIDE ATTACHMENT AND CONNECTION DEVICES AND METHODS NECESSARY FOR SECURING WORK, SECURE WORK TRUE TO LINE AND LEVEL. ALLOW FOR EXPANSION AND BUILDING MOVEMENT AND ALLOW FOR EXPANSION OF BUILDING MATERIALS.
K. PROVIDE UNIFORM JOINT WIDTHS IN EXPOSED WORK. ARRANGE JOINTS IN EXPOSED WORK TO OBTAIN THE BEST VISUAL EFFECT. REFER QUESTIONABLE CHOICE TO THE ARCHITECT FOR FINAL DECISION.
L. RECHECK MEASUREMENTS AND DIMENSIONS BEFORE STARTING EACH INSTALLATION.
M. INSTALL EACH COMPONENT DURING WEATHER CONDITIONS AND PROJECT STATUS THAT WILL ENSURE THE BEST POSSIBLE RESULTS. ISOLATE EACH PART OF THE COMPLETED CONSTRUCTION FROM INCOMPATIBLE MATERIALS AS NECESSARY TO PREVENT DETEIORATION.
N. WHERE MOUNTING HEIGHTS AND CLEARANCES ARE NOT INDICATED, INSTALL INDIVIDUAL COMPONENTS AT STANDARD MOUNTING HEIGHTS RECOGNIZED WITHIN THE INDUSTRY AND BY THE AMERICANS WITH DISABILITIES ACT (ADA) FOR THE PARTICULAR APPLICATION. REFER QUESTIONABLE MOUNTING HEIGHT TO THE ARCHITECT.

01 00 21 - CLEANING AND PROTECTION

- A. CLEAN AND PROTECT CONSTRUCTION IN PROGRESS AND ADJOINING MATERIALS IN PLACE.
B. CLEAN AND MAINTAIN COMPLETED CONSTRUCTION AS FREQUENTLY AS NECESSARY THROUGH THE REMAINDER OF THE CONSTRUCTION PROCESS. ADJUST AND LUBRICATE OPERABLE COMPONENTS TO ENSURE OPERABILITY.
C. SUPERVISE CONSTRUCTION ACTIVITY TO LIMIT EXPOSURE OF CONSTRUCTION TO ADVERSE EFFECTS OF, BUT NOT LIMITED TO DYNAMIC LOADINGS, INTERNAL PRESSURE, THERMAL SHOCK, WATER OR ICE, CHEMICALS, LIGHT, RADIATION, ABRASION, THEFT, VANDALISM, MISALIGNMENT, SOILING, STAINING TRAFFIC, OR EXTREME TEMPERATURES.

01 00 22 - FIELD ENGINEERING

- A. VERIFY LAYOUT INFORMATION ON DRAWINGS IN RELATION TO PROPERTY SURVEY AND EXISTING BENCHMARKS BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE LAYOUT AND PLACEMENT OF ALL STRUCTURES AND BUILDING AND SHALL SUPPLY AT THE REQUEST OF THE ARCHITECT ANY AFFIDAVIT FROM A LICENSED SURVEYOR THAT THE BUILDING HAS BEEN ERECTED PER PLAN AND SPECIFICATIONS.
B. DO NOT CHANGE OR RELOCATE BENCHMARKS. RETAIN ALL EXISTING BENCHMARKS.
C. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES AND CONSTRUCTION INDICATED AS EXISTING ARE NOT GUARANTEED. BEFORE BEGINNING SITEWORK, INVESTIGATE AND VERIFY THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES AND OTHER CONSTRUCTION.
D. WORKING FROM LINES AND LEVELS ESTABLISHED BY THE EXISTING CONDITIONS AND CONSTRUCTION ESTABLISHED BENCHMARKS AND MARKERS TO SET LINES AND LEVELS AT EACH STORY OF CONSTRUCTION AND ELSEWHERE AS NEEDED TO PROPERLY LOCATE EACH ELEMENT OF THE PROJECT. CALCULATE AND MEASURE REQUIRED DIMENSIONS WITHIN INDICATED OR RECOGNIZED TOLERANCES.
E. MAINTAIN A SURVEYOR'S LOG OF CONTROL AND RECORD DEVIATIONS FROM LINES AND LEVELS AND ADVISE THE ARCHITECT WHEN DEVIATIONS THAT EXCEED INDICATED TOLERANCES ARE DETECTED. ON PROJECT RECORD DRAWINGS, RECORD DEVIATIONS THAT ARE ACCEPTED AND NOT CORRECTED.
F. LOCATE AND LAYOUT SITE IMPROVEMENTS INCLUDING PAVEMENT, STAKES FOR GRADING, FILL AND TOPSOIL, PLACEMENT, UTILITY SLOPES AND INVERT ELEVATIONS BY INSTRUMENTATION AND APPROPRIATE MEANS.
G. FURNISH INFORMATION NECESSARY TO ADJUST, MOVE OR RELOCATE EXISTING STRUCTURES, UTILITY POLES, LINES, SERVICES OR OTHER APPURTENANCES LOCATED IN OR AFFECTED BY CONSTRUCTION. COORDINATE WITH LOCAL AUTHORITIES HAVING JURISDICTION.
H. WHEN THE CONTRACTOR IS RESPONSIBLE BY CONTRACT DEFINITION TO PROVIDE AND COORDINATE PARTICULAR SCOPES OF WORK (I.E. DESIGN-BUILD) HE SHALL PROVIDE COMPLETE ENGINEERED DRAWINGS, SPECIFICATIONS ALONG WITH DESIGN CALCULATIONS USED, STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE FOR WHICH THE PROJECT IS LOCATED, PRIOR TO CONTRACT SIGNING OR AS OTHERWISE MUTUALLY AGREED UPON.
I. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE SPRINKLER DESIGN AND SHOP DRAWINGS WITH THE LOCAL FIRE DEPARTMENT AND THE STATE FIRE MARSHAL'S OFFICE FOR APPROVAL PRIOR TO COMMENCING WITH ANY ASSOCIATED WORK.

01 00 23 - PROJECT SUBSTITUTIONS

- A. REQUEST FOR "ACCEPTABLE SUBSTITUTIONS" IN PRODUCTS, MATERIALS, EQUIPMENT AND METHODS OF CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS AND PROPOSED BY THE CONTRACTOR AFTER THE AWARD OF THE CONTRACT WILL BE CONSIDERED IF RECEIVED WITHIN 30 DAYS OF COMMENCEMENT OF THE APPLICABLE SCOPE OF WORK. SUBMIT (5) FIVE OPAQUE COPIES OF EACH REQUEST FOR SUBSTITUTION IN ACCORDANCE WITH PROCEDURES FOR CHANGE ORDERS.
B. THE CONTRACTOR WILL CERTIFY THAT THE SUBSTITUTION PROPOSED IS EQUAL TO OR BETTER THAN THE ITEM IN THE CONTRACT DOCUMENTS AND THAT IT WILL PERFORM ADEQUATELY IN THE APPLICATION INDICATED.
C. THE ARCHITECT WILL ACCEPT OR REJECT THE REQUESTED SUBSTITUTION WITHIN FOURTEEN CALENDAR DAYS OF THE SUBMISSION TO THE ARCHITECT.
D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LABOR COSTS INCURRED BY THE ARCHITECT TO REVIEW THE PROPOSED SUBSTITUTION.

01 00 24 - PROJECT COST SAVINGS / VALUE ENGINEERING:

- A. THE CONSTRUCTION MANAGER, WHEN ASKED TO DELIVER A PROJECT WITHIN A GMP, SHALL RETURN ALL COST SAVINGS TO THE OWNER, WHILE MAINTAINING THE ORIGINAL CM FEE. IF THE SCOPE OF THE WORK IS REDUCED PRIOR TO CONSTRUCTION START, THE CM FEE SHALL BE REDUCED ACCORDINGLY.

01 00 25 - SUBSTANTIAL COMPLETION:

- A. SUBSTANTIAL COMPLETION ON THIS PROJECT REQUIRES ALL BUILDING, SITE AND LANDSCAPE WORK TO BE COMPLETED AND THE BUILDING TO BE FULLY AVAILABLE AND FUNCTIONAL AS INTENDED BY THE DRAWINGS AND SPECIFICATIONS FOR THE USE BY THE OWNER.

01 00 26 - PROJECT CLOSEOUT

- A. TIME OF CLOSEOUT IS DIRECTLY RELATED TO "SUBSTANTIAL COMPLETION", THEREFORE, THE TIME OF CLOSEOUT MAY BE EITHER A SINGLE TIME PERIOD FOR THE ENTIRE SCOPE OF WORK OR A SERIES OF TIME PERIODS FOR INDIVIDUAL ELEMENTS OF THE WORK.
B. ADVISE THE OWNER OF ANY INSURANCE CHANGE-OVERS.
C. UNLESS OTHERWISE SPECIFIED, AS A REQUIREMENT FOR PROCESSING THE FINAL PAYMENT REQUISITION, SUBMIT (5) FIVE COPIES OF THE FOLLOWING TO THE ARCHITECT AND CONSULTANTS:
1. WARRANTIES.
2. RELEASE OF LIENS.
3. MAINTENANCE BONDS.
4. MAINTENANCE AGREEMENTS.
5. OPERATION MANUALS.
6. FINAL CERTIFICATIONS.
7. AS-BUILT RECORD DRAWINGS.
8. CHANGE OVER OF LOCKS AND KEYS.

01 00 27 - RECORD DRAWINGS

- A. CONTRACTORS SHALL MAINTAIN ONE SET OF RECORD DRAWINGS, RECORDING ALL CHANGES TO THE PLANS.
B. THE CONTRACTOR WILL FILE THESE DRAWINGS WITH THE OWNER AT PROJECT CLOSEOUT.
C. FINAL AS-BUILT DRAWINGS SHALL INCLUDE BUT ARE NOT LIMITED TO HIDDEN WORK, ALL UNDERGROUND UTILITIES, SERVICES AND DISTRIBUTIONS OF WATER, SEWER, ELECTRICAL, TELEPHONE, CABLE, HEATING AND ALL BUILDING DETAILS

01 00 28 - SAFETY AND CLEANING

- A. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CLEAN AND SAFE SITE. ALL DEBRIS WILL BE REMOVED TO A LEGAL DISPOSAL AREA ON A REGULAR BASIS. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY PROCEDURES.
B. THE CONTRACTOR WILL PROVIDE DURING THE WORK DAY A CLEAR DEFINITION OF THE WORK AREA WHICH WILL BE MAINTAINED BY FENCING MATERIAL AND SIGNAGE.
C. BEFORE EXCAVATION BEGINS, INSTALL AN ENCLOSURE FENCE WITH LOCKABLE GATES. INSTALL IN A MANNER THAT WILL PREVENT PEOPLE, DOGS, AND OTHER ANIMALS FROM EASILY ENTERING CONSTRUCTION AREA AND TO MEET OSHA REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL DIS-SAFE AGENCIES PRIOR TO ANY EXCAVATION.
D. UPON COMPLETION OF ALL WORK ITEMS, IT SHALL BE THE CONTRACTOR'S FINAL RESPONSIBILITY TO REMOVE ALL WASTE MATERIALS, DEBRIS AND RUBBISH FROM THE SITE, AND DISPOSE OF SAME IN A LEGAL, ENVIRONMENTAL SAFE AND LEGITIMATE MANNER. KEEP DRIVEWAYS AND ENTRANCES SERVING THE PREMISE CLEAR AND AVAILABLE TO THE OWNER AND THE OWNER'S EMPLOYEES AT ALL TIMES. ALL MATERIALS STORED ON SITE MUST BE CONFINED TO A SECURED AREA. THE GENERAL CONTRACTOR SHALL PRESENT AND BE RESPONSIBLE FOR A SAFETY PLAN FOR DEALING WITH AUTHORIZED ACCESS THRU THE SITE.

01 00 29 - APPROVALS

- A. "APPROVED" USES WITHOUT ANY FURTHER QUALIFICATIONS, SHALL MEAN REVIEWED AND ACCEPTED BY THE ARCHITECT AND OWNER, AND DOCUMENTED IN WRITING. VERBAL AUTHORIZATION SHALL NOT BE BINDING UPON THE ARCHITECT OR OWNER.
B. "ACCEPTABLE SUBSTITUTIONS" SHALL BE DEFINED AS MEETINGS OR EXCEEDING THE INTENT OF THE MATERIAL DRAWINGS AND SPECIFICATIONS INDICATED AS DETERMINED BY THE ENGINEER/ ARCHITECT. SUBSTITUTIONS SHALL BE IDENTIFIED AND APPROVED / DENIED TWO WEEKS PRIOR TO BID DATE. NO SUBSTITUTIONS WILL BE ALLOWED AFTER CONTRACT AWARD ON THE BASIS THAT ACCEPTANCE OF A SUBSTITUTION AFTER AWARD MAY HAVE AFFECTED THE BIDDING PROCESS.
C. ALL REQUIRED CONSTRUCTION PROCESS PERMITS AND OCCUPANCY APPROVALS FOR THIS BUILDING ARE THE RESPONSIBILITY OF THE CONTRACTOR, INCLUDING BUT NOT LIMITED TO BUILDING DEPT., PUBLIC WORKS DEPT., FIRE DEPT., AND FINAL OCCUPANCY ETC.

01 00 30 - CUTTING AND PATCHING

- A. VISUAL REQUIREMENTS: DO NOT CUT AND PATCH CONSTRUCTION EXPOSED ON THE EXTERIOR OR IN OCCUPIED SPACES, IN A MANNER THAT WOULD, IN THE ARCHITECT'S OPINION, REDUCE THE BUILDING'S AESTHETIC QUALITIES, OR RESULT IN VISUAL EVIDENCE OF CUTTING AND PATCHING.
B. USE MATERIALS THAT ARE IDENTICAL TO EXISTING MATERIALS UNLESS OTHERWISE NOTED. IF IDENTICAL MATERIALS ARE NOT AVAILABLE OR CAN NOT BE USED WHERE EXPOSED SURFACES ARE INVOLVED, USE MATERIALS THAT MATCH EXISTING ADJACENT SURFACES TO THE FULLEST EXTENT POSSIBLE WITH REGARD TO VISUAL EFFECT. USE MATERIALS WHOSE INSTALLED PERFORMANCE WILL EQUAL OR SURPASS THAT OF EXISTING MATERIALS.
C. PATCHING: PATCH WITH DURABLE SEAMS THAT ARE AS INVISIBLE AS POSSIBLE. RESTORE EXPOSED FINISH OF PATCHED AREAS AND EXTEND FINISH INTO RETAINED ADJOINING CONSTRUCTION IN A MANNER THAT WILL ELIMINATE EVIDENCE OF PATCHING AND REFINISHING.
D. WORK, WHICH IN THE ARCHITECT'S OPINION WAS CUT AND/OR PATCHED IN AN UNSATISFACTORY MANNER, SHALL BE REMOVED AND REPLACED TO THE ARCHITECT AND BUILDING OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.

01 00 31 - ATTORNEYS FEES AND COSTS

- A. THE CONTRACTOR AGREES TO INDEMNIFY THE OWNER, ARCHITECT, AND CONSULTANTS FROM ANY AND ALL LIABILITY, LOSS OR DAMAGE INCLUDING BUT NOT LIMITED TO, BODILY INJURY, ILLNESS, DEATH OR PROPERTY DAMAGE, WHICH THE CONTRACTOR BECOMES LEGALLY OBLIGATED TO PAY, INCLUDING REASONABLE ATTORNEY'S FEES, INVESTIGATIVE AND DISCOVERY COSTS, COURT COSTS, AS A RESULT OF CLAIMS, DEMANDS OR JUDGMENTS AGAINST THE OWNER, AND/OR ARCHITECT/ENGINEER ARISING OUT OF THIS AGREEMENT, CAUSED BY OR ARISING OUT OF THE NEGLIGENCE, FAULT, BREACH OF WARRANTY, PRODUCE LIABILITY OR STRICT LIABILITY OF THE CONTRACTOR, AND/OR THIRD PARTIES, WHETHER SUCH NEGLIGENCE, FAULT, BREACH OF WARRANTY, PRODUCTS LIABILITY OR STRICT LIABILITY IS SOLE JOINT OR SEVERAL.

01 00 32 - TELEPHONE SERVICE

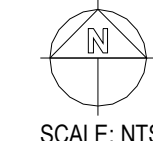
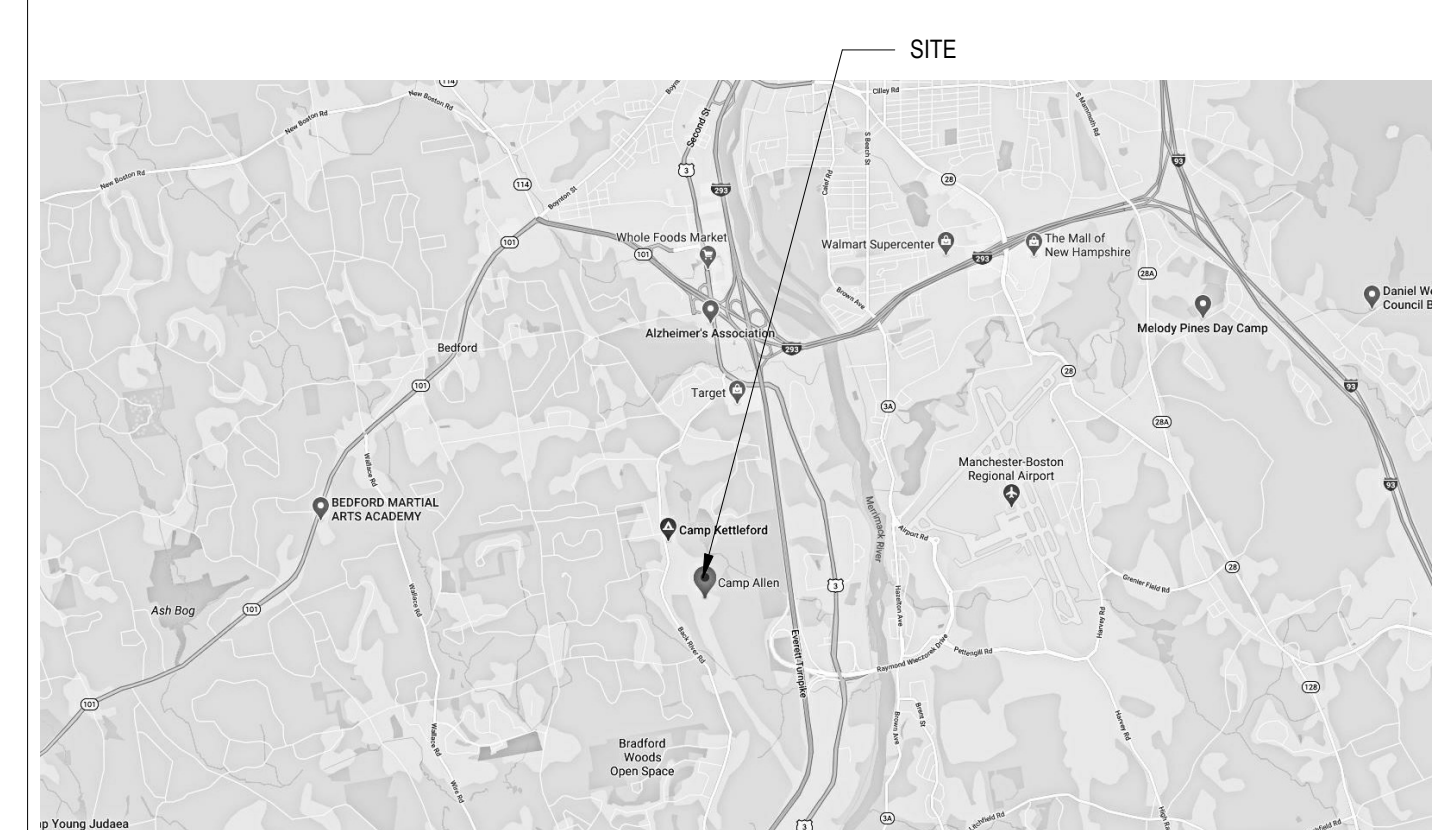
- A. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND TIMELY INSTALLATION OF ALL PHONE SERVICES (IF REQUIRED), INCLUDING LINES FOR WATER METERS, FIRE ALARM PANELS AND OWNER SUPPLIED PHONE SYSTEMS PRIOR TO SUBSTANTIAL COMPLETION. THE OWNER SHALL AT THEIR OPTION BE OFFERED 2 WEEK DUAL SERVICES. ALL PHONE SYSTEMS SHALL BE PROVIDED BY THE OWNER.

01 00 33 - PERMITTING AND FEES

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION RELATED FEES.

- 1. SEWER (BY GENERAL CONTRACTOR)
A. METER FEE
B. SPECIAL INVESTMENT FEE
2. BUILDERS RISK INSURANCE (BY OWNER)
3. TESTING (BY GENERAL CONTRACTOR)
A. SOLS COMPACTION
B. STEEL
C. CONCRETE
4. APPRAISALS (BANF) (BY OWNER)
5. BUILDING PERMIT (BY GENERAL CONTRACTOR)
6. UTILITIES DURING CONSTRUCTION (BY GENERAL CONTRACTOR)
A. ELECTRIC
B. WATER
C. TELEPHONE
7. DRIVEWAY PERMIT

PROJECT LOCATION MAP



NOTE: DO NOT USE 3D VIEWS FOR CONSTRUCTION. 3D VIEWS ARE FOR OVERALL CONCEPT PURPOSES ONLY



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PLAN KEY:

PROJECT TITLE / ADDRESS:
CAMP ALLEN
DINING HALL
56 CAMP ALLEN ROAD
BEDFORD, NH 03110

SCALE: AS NOTED DWN BY: KL
JOB#: 3614 CHK BY: SD

PRINT DATE: 6/2/2020 11:56 PM

ISSUE DATE:

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DESIGN DEVELOPMENT

Table with columns: REVISION, DATE, COMMENTS

CONSTRUCTION NOTES,
LOCUS PLAN &
CONSTRUCTION SIGN

A001

SHEET NUMBER: 1 OF 25 ARCHITECTURAL
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Vertical scale markers on the left side of the page: three inches = one foot, one and one half inches = one foot, one inch = one foot, three quarter inch = one foot, one quarter inch = one foot, one eighth inch = one foot.

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TEMPLATE DATE: 11/2/2019







INTERNATIONAL BUILDING CODE

Table with columns: 2015 International Building Code (IBC), Required/Allowed, CODE, Proposed, REFERENCE. Includes sections for Use Groups, Assembly (A-2), Storage (S-1) Moderate Hazard, Height / Area, and Mixed Use and Occupancy.

Table with columns: Incidental Uses, Separation and/or Protection, Furnace Room, Boiler Room, and Construction Classification.

Table with columns: Fire Resistance Rating Requirements for Building Elements, Building Element, Rating Required, Rating Provided, and Table 601.

Table with columns: Fire and Smoke Protection Features, Maximum Area of Exterior Wall Openings, Level of Protection, and Fire Walls.

Table with columns: Fire Partitions, Fire Barriers, Fire Partitions, Smoke Barrier, Smoke Partitions, Horizontal Assemblies, Vertical Openings, Shaft Enclosures, Penetrations, Fire-Resistant Joint Materials, Opening Protectives, Ducts and Transfer Openings, Concealed Spaces, Draft Stopping in Floors, Draft Stopping in Attics, Interior Finishes.

Table with columns: Fire Protection Systems, Accessible Route, Site Arrival Points, Accessible Entrances, Parking and Passenger Loading Facilities, Special Occupancies, Dining and Drinking Areas, Other Features and Facilities, Signage.

Table with columns: Occupant Load, Use Group Classification, SCENARIO 1: Less Concentrated Seating, Basement, First Floor, ASSEMBLY (A-2) - Dining Area, ASSEMBLY (A-2) - Anti-Room, ASSEMBLY (A-2) - Outdoor Seating, ASSEMBLY (A-2) - Kitchens, STORAGE (Accessory), Building Totals.

Table with columns: SCENARIO 2: Concentrated Seating (Non-Fixed) Basement, First Floor, ASSEMBLY (A-2) - Dining Area, ASSEMBLY (A-2) - Anti-Room, ASSEMBLY (A-2) - Outdoor Seating, ASSEMBLY (A-2) - Kitchens, STORAGE (Accessory), Building Totals.

Table with columns: Means of Egress, Capacity of Means of Egress, Stairs, Interior Stair, Exterior Stair, Exterior Stair (East), Doors, See Code Plans, Number of Exits, Occupancy Load Factor, Use Group Classification, SCENARIO 1: Less Concentrated Seating, Basement, First Floor.

Table with columns: Exit and Exit Access Doorway Configuration, Accessible Means of Egress, Doors, Stairways, Fire Resistance Rating, Exit Access, Exit Access Travel Distance, Exit Access Stairways and Ramps, Corridors, Interior Exit Stairways and Ramps, Exit Passageways, Horizontal Exits, Exterior Exit Stairways and Ramps, Accessible Route, Site Arrival Points, Accessible Entrances, Parking and Passenger Loading Facilities, Special Occupancies, Dining and Drinking Areas, Other Features and Facilities, Signage.

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LIFE SAFETY CODE

Table with columns: 2015 NFPA 101 Life Safety Code, Required/Allowed, CODE, Proposed, REFERENCE. Includes sections for Classification of Occupancy, Means of Egress Components, Doors, Stairs, Fire Resistance Rating, Fire Partitions, Fire Barriers, Ramps, Exit Passageways, Fire Resistance Rating, Occupancy Load Factor, Use Group Classification, SCENARIO 1: Less Concentrated Seating, Basement, First Floor.

Table with columns: Exit and Exit Access Doorway Configuration, Accessible Means of Egress, Doors, Stairways, Fire Resistance Rating, Exit Access, Exit Access Travel Distance, Exit Access Stairways and Ramps, Corridors, Interior Exit Stairways and Ramps, Exit Passageways, Horizontal Exits, Exterior Exit Stairways and Ramps, Accessible Route, Site Arrival Points, Accessible Entrances, Parking and Passenger Loading Facilities, Special Occupancies, Dining and Drinking Areas, Other Features and Facilities, Signage.

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CAMP ALLEN 56 CAMP ALLEN ROAD BEDFORD, NH 03110

HARVEY CONSTRUCTION CONSTRUCTION MANAGER 10 HARVEY ROAD BEDFORD, NH 03110 P. (603) 624-4600

PLAN KEY:

PROJECT TITLE / ADDRESS: CAMP ALLEN DINING HALL 56 CAMP ALLEN ROAD BEDFORD, NH 03110

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CODE REVIEW

A003 SHEET NUMBER: 3 OF 25 ARCHITECTURAL

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PROGRESS - NOT FOR CONSTRUCTION

one eighth inch = one foot, one quarter inch = one foot, one half inch = one foot, one inch = one foot

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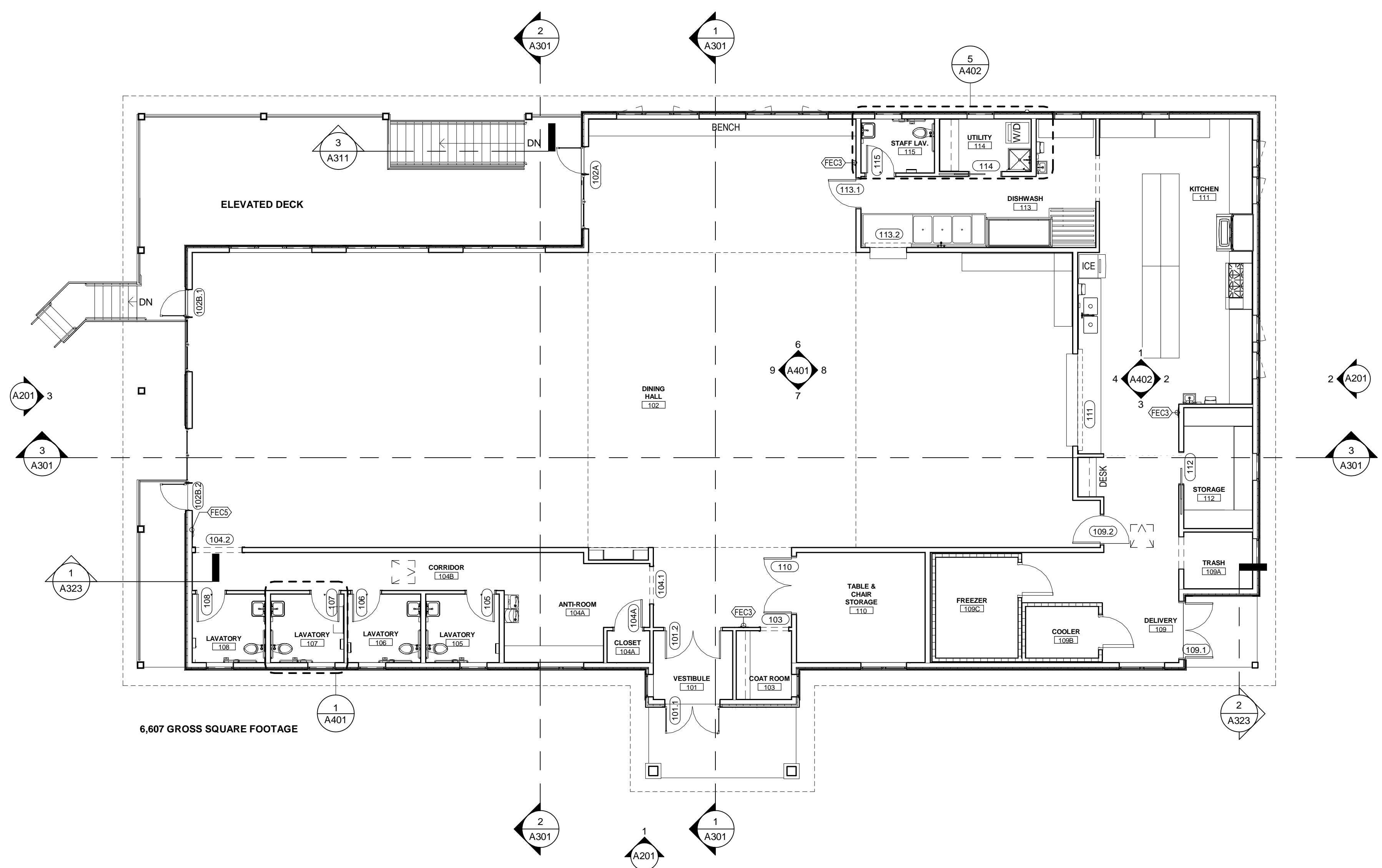








three inches = one foot  
 one and one half inches = one foot  
 one inch = one foot  
 three quarter inch = one foot  
 one quarter inch = one foot  
 one eighth inch = one foot  
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**GENERAL PLAN NOTES**

1. ARCHITECTURAL DATUM = 100'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM IN HEIGHT ABOVE SEA LEVEL.
2. ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING, U.N.O. AT EXISTING WALLS DIMENSIONS ARE TO FINISH FACE OF WALL.
3. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCING WITH ANY WORK.
4. REFER TO DIMENSION PLANS FOR GENERAL PARTITION NOTES & PARTITION TYPES.
5. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
6. ALL LUMBER IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
7. REVIEW PRIOR TO INSTALLATION, ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STROBES) WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
8. PROVIDE BLOCKING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
9. COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.

TO BE EDITED

**FLOOR PLAN LEGEND**

- 101 DOOR TAG, SEE DOOR SCHEDULE
- X WINDOW TAG, SEE WINDOW SCHEDULE
- 11 ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
- A KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND

**FLOOR PLAN KEYNOTES**

- 1

WA

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**CAMP ALLEN**  
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PLAN KEY:

PROJECT TITLE / ADDRESS:  
**CAMP ALLEN DINING HALL**  
56 CAMP ALLEN ROAD  
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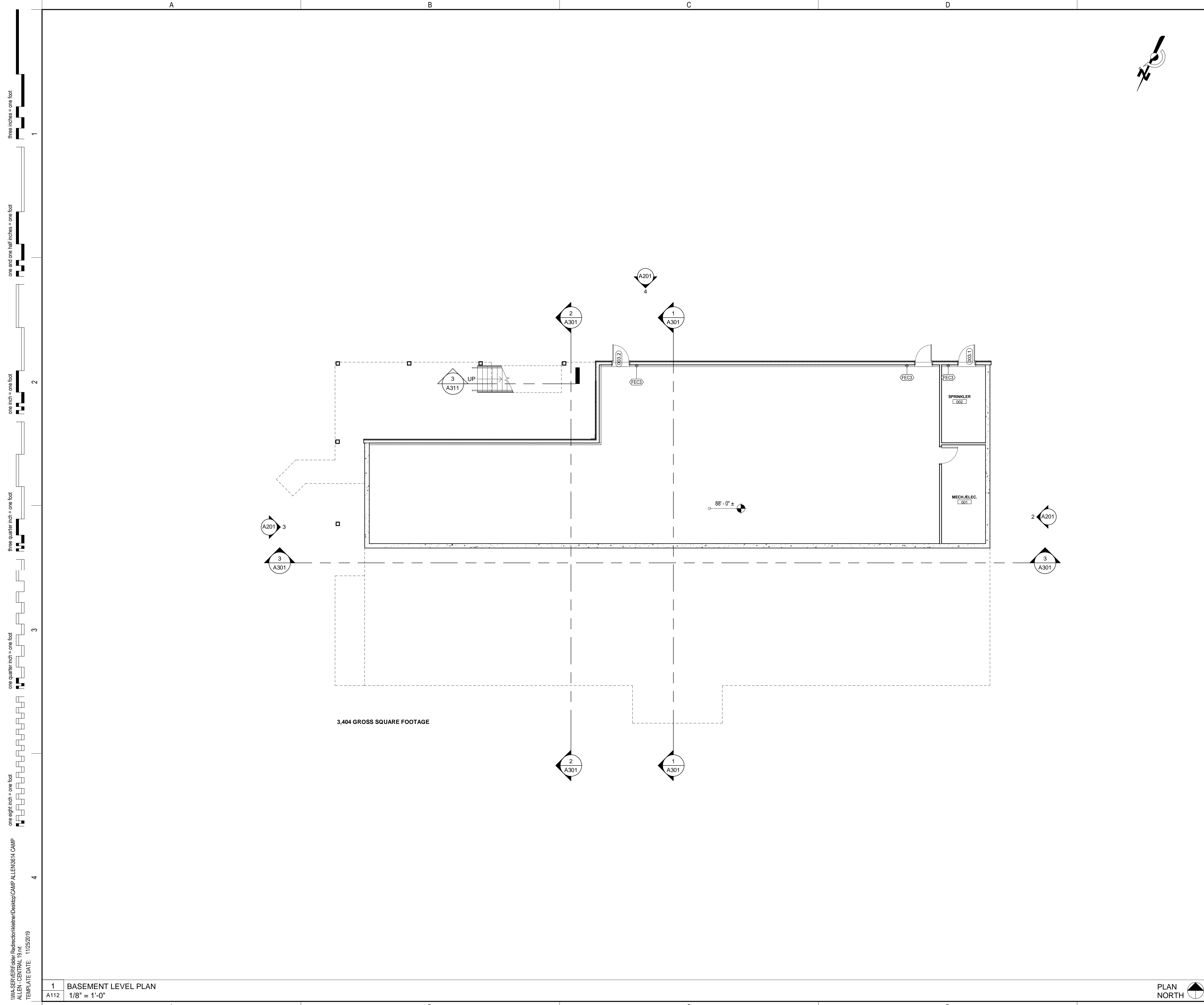
FIRST FLOOR PLAN

A111

SHEET NUMBER: 6 OF 25 ARCHITECTURAL  
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**GENERAL PLAN NOTES**

1. ARCHITECTURAL DATUM = 100'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM IN HEIGHT ABOVE SEA LEVEL.
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8. PROVIDE BLOCKING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
9. COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.

TO BE EDITED

**FLOOR PLAN LEGEND**

- 101 DOOR TAG, SEE DOOR SCHEDULE
- X WINDOW TAG, SEE WINDOW SCHEDULE
- IT ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
- A KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND

**FLOOR PLAN KEYNOTES**

- 1

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PLAN KEY:

PROJECT TITLE / ADDRESS:  
**CAMP ALLEN DINING HALL**  
56 CAMP ALLEN ROAD  
BEDFORD, NH 03110

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JOB #: 3614 CHK BY: SD

PRINT DATE: 6/2/2020 1:20:00 PM

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**BASEMENT FLOOR PLAN**

A112

SHEET NUMBER: 7 OF 25 ARCHITECTURAL

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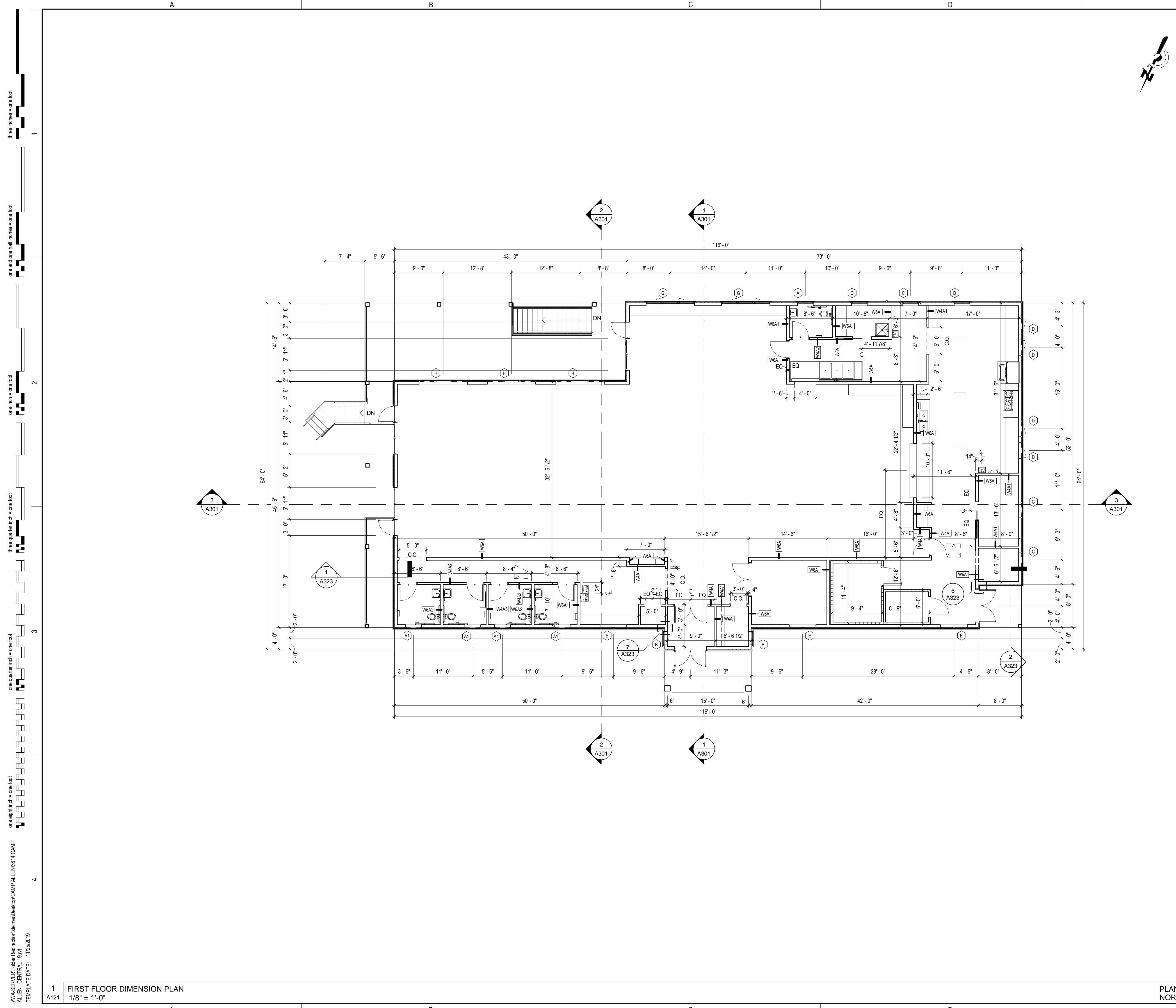
\\NASERVER\Folder\Redirector\ksherr\Desktop\CAMP ALLEN\0814 CAMP ALLEN - CENTRAL 13.rvt  
TEMPLATE DATE: 11/25/2019

1 BASEMENT LEVEL PLAN  
A112 1/8" = 1'-0"

PLAN NORTH

PROGRESS - NOT FOR CONSTRUCTION





**DIMENSION PLAN NOTES**

1. ARCHITECTURAL DATUM = 100'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM IN HEIGHT ABOVE SEA LEVEL.
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4. SEE A600 SERIES SHEETS FOR PARTITION TYPE DETAILS.
5. SEE A600 SERIES SHEETS AND SPECIFICATIONS FOR FIRESTOPPING REQUIREMENTS.
6. INSTALL GWB TIGHT TO EXTERIOR WALL SHEATHING AT ALL FIRE BARRIERS.
7. ELECTRICAL BOXES INSTALLED IN FIRE RATED PARTITIONS SHALL BE STAGGERED AS REQUIRED BY CODE OR PROVIDED WITH PUTTY PADS AND INSTALLED PER MANUFACTURER'S REQUIREMENTS AND BY CODE.
8. ELECTRICAL BOXES INSTALLED IN PARTITIONS INDICATED AS ACOUSTIC CONSTRUCTION SHALL BE STAGGERED SO THAT BOXES ON OPPOSING SIDES OF A PARTITION DO NOT OCCUR IN THE SAME STUD CAVITY. SECURELY FIT ACOUSTIC INSULATION AROUND ALL SIDES OF THE BOX AND PROVIDE ACOUSTIC SEALANT AT ALL HOLES IN AND AROUND THE PERIMETER OF THE BOX OPENING.
9. REVIEW, PRIOR TO ROUGH-IN, ANY CONFLICT OF ENGINEERING TRADE DEVICES WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
10. PROVIDE BLOCKING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
11. COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.

TO BE EDITED

**DIMENSION PLAN LEGEND**

- 1 PARTITION TAG, SEE A601
- X WINDOW TAG, SEE WINDOW SCHEDULE
- A KEYNOTE, SEE DIMENSION PLAN KEYNOTE LEGEND

**DIMENSION PLAN KEYNOTES**

- 1

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 P. (603) 624-4600

PLAN KEY:

PROJECT TITLE / ADDRESS:  
**CAMP ALLEN**  
**DINING HALL**  
 56 CAMP ALLEN ROAD  
 BEDFORD, NH 03110

SCALE: AS NOTED DWN BY: KL  
 JOB #: 3614 CHK BY: SD

PRINT DATE: 6/2/2020 1:20:00 PM

ISSUE DATE:

**NOT FOR CONSTRUCTION**  
**DESIGN DEVELOPMENT**

REVISION	DATE	COMMENTS

FIRST FLOOR DIMENSION  
 PLAN

**A121**

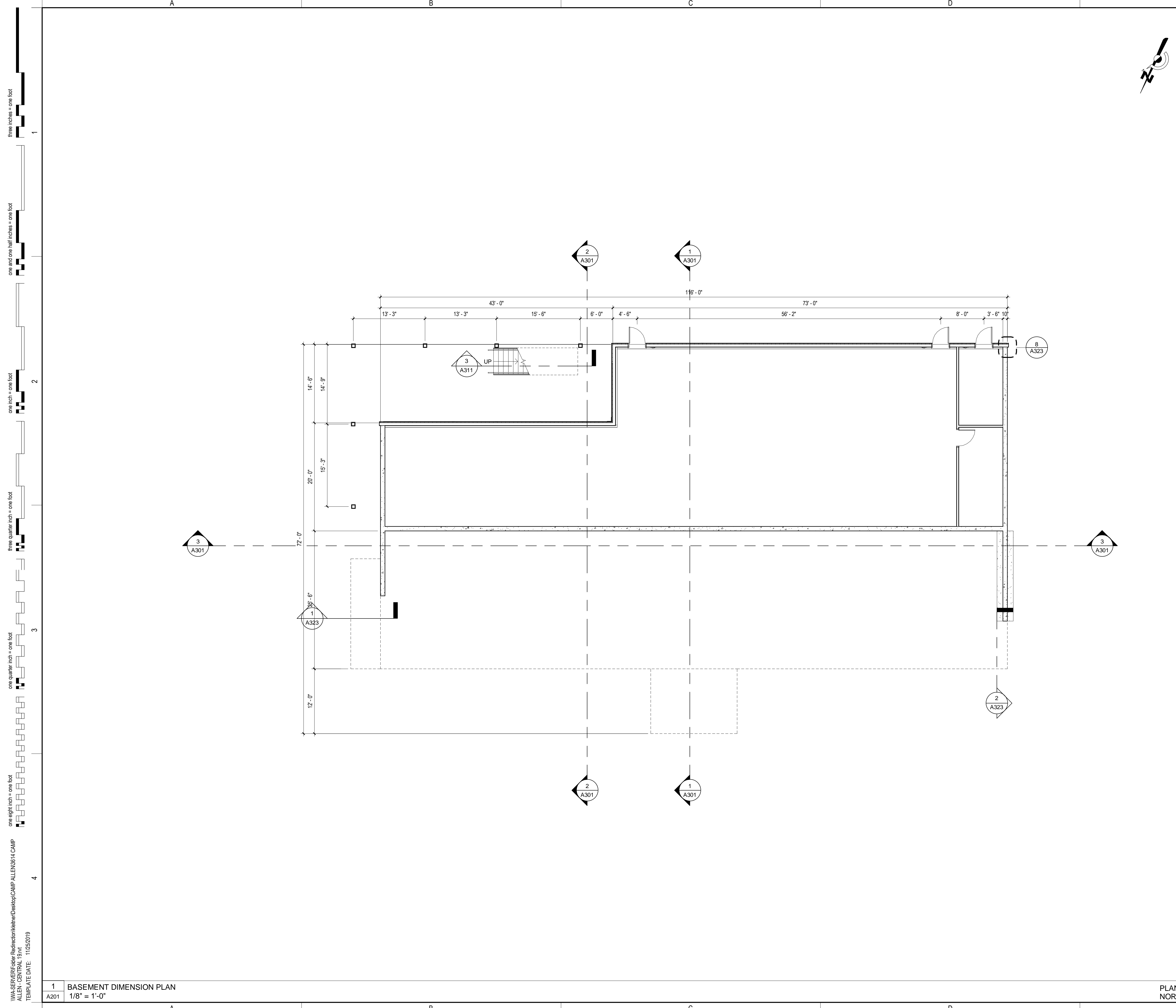
SHEET NUMBER: 8 OF 25 ARCHITECTURAL

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**DIMENSION PLAN NOTES**

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6. INSTALL GWB TIGHT TO EXTERIOR WALL SHEATHING AT ALL FIRE BARRIERS.
7. ELECTRICAL BOXES INSTALLED IN FIRE RATED PARTITIONS SHALL BE STAGGERED AS REQUIRED BY CODE OR PROVIDED WITH PUTTY PADS AND INSTALLED PER MANUFACTURER'S REQUIREMENTS AND BY CODE.
8. ELECTRICAL BOXES INSTALLED IN PARTITIONS INDICATED AS ACOUSTIC CONSTRUCTION SHALL BE STAGGERED SO THAT BOXES ON OPPOSING SIDES OF A PARTITION DO NOT OCCUR IN THE SAME STUD CAVITY. SECURELY FIT ACOUSTIC INSULATION AROUND ALL SIDES OF THE BOX AND PROVIDE ACOUSTIC SEALANT AT ALL HOLES IN AND AROUND THE PERIMETER OF THE BOX OPENING.
9. REVIEW, PRIOR TO ROUGH-IN, ANY CONFLICT OF ENGINEERING TRADE DEVICES WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
10. PROVIDE BLOCKING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
11. COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.

TO BE EDITED

**DIMENSION PLAN LEGEND**

- ti PARTITION TAG, SEE A601
- X WINDOW TAG, SEE WINDOW SCHEDULE
- A KEYNOTE, SEE DIMENSION PLAN KEYNOTE LEGEND

**DIMENSION PLAN KEYNOTES**

- 1

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**HARVEY CONSTRUCTION**  
CONSTRUCTION MANAGER  
10 HARVEY ROAD  
BEDFORD, NH 03110  
P. (603) 624-4600

PLAN KEY:

PROJECT TITLE / ADDRESS:  
**CAMP ALLEN  
DINING HALL**  
56 CAMP ALLEN ROAD  
BEDFORD, NH 03110

SCALE: AS NOTED DWN BY: KL  
JOB #: 3614 CHK BY: SD  
PRINT DATE: 6/2/2020 1:20:01 PM  
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DESIGN DEVELOPMENT**

REVISION	DATE	COMMENTS

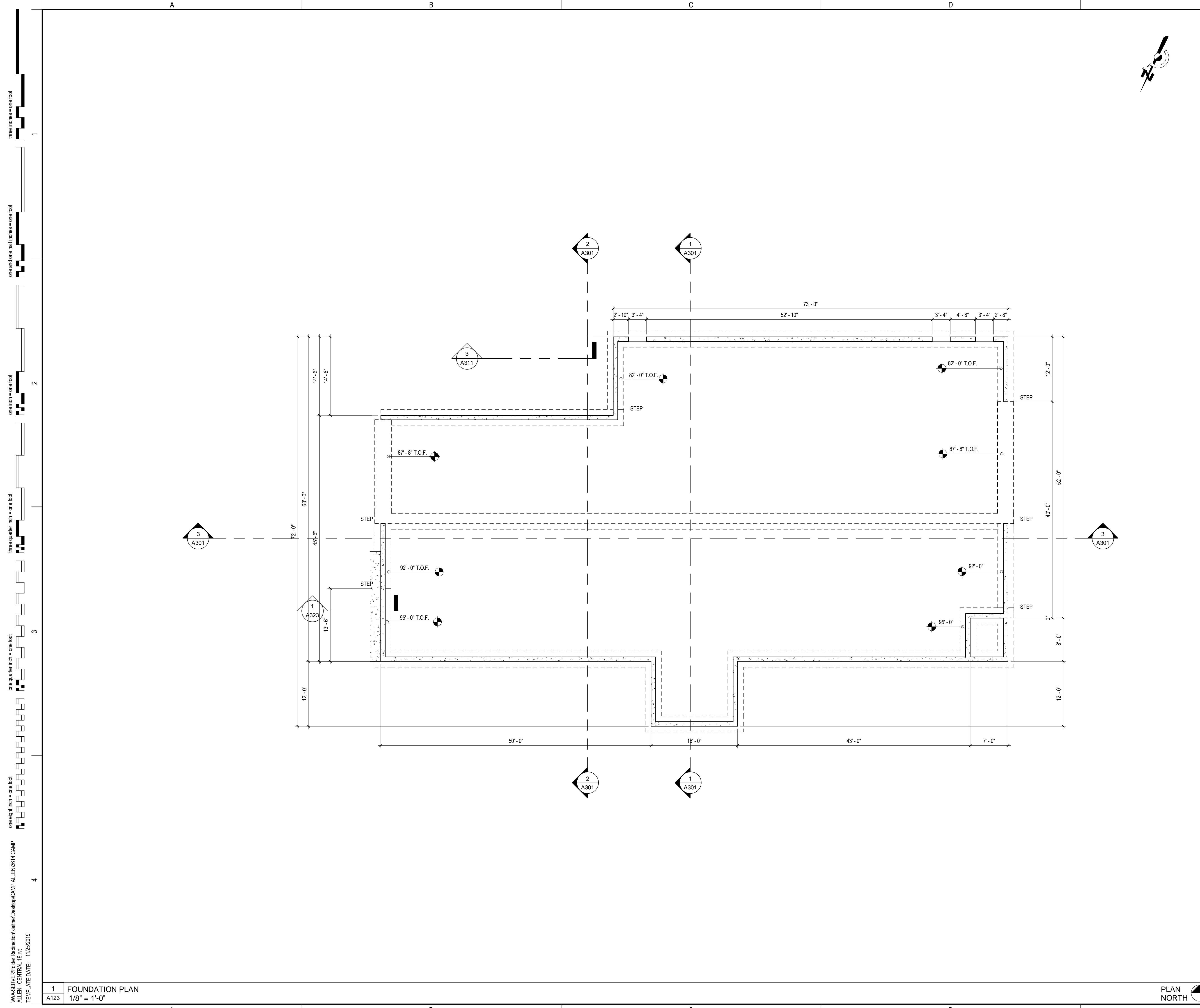
**BASEMENT DIMENSION PLAN**

A122

SHEET NUMBER: 9 OF 25 ARCHITECTURAL  
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PROGRESS - NOT FOR CONSTRUCTION





**DIMENSION PLAN NOTES**

1. ARCHITECTURAL DATUM = 100'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM IN HEIGHT ABOVE SEA LEVEL.
2. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCING WITH ANY WORK.
3. ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING, U.N.O., AT EXISTING WALLS DIMENSIONS ARE TO FINISH FACE OF WALL.
4. SEE A600 SERIES SHEETS FOR PARTITION TYPE DETAILS.
5. SEE A600 SERIES SHEETS AND SPECIFICATIONS FOR FIRESTOPPING REQUIREMENTS.
6. INSTALL GWB TIGHT TO EXTERIOR WALL SHEATHING AT ALL FIRE BARRIERS.
7. ELECTRICAL BOXES INSTALLED IN FIRE RATED PARTITIONS SHALL BE STAGGERED AS REQUIRED BY CODE OR PROVIDED WITH PUTTY PADS AND INSTALLED PER MANUFACTURER'S REQUIREMENTS AND BY CODE.
8. ELECTRICAL BOXES INSTALLED IN PARTITIONS INDICATED AS ACOUSTIC CONSTRUCTION SHALL BE STAGGERED SO THAT BOXES ON OPPOSING SIDES OF A PARTITION DO NOT OCCUR IN THE SAME STUD CAVITY. SECURELY FIT ACOUSTIC INSULATION AROUND ALL SIDES OF THE BOX AND PROVIDE ACOUSTIC SEALANT AT ALL HOLES IN AND AROUND THE PERIMETER OF THE BOX OPENING.
9. REVIEW, PRIOR TO ROUGH-IN, ANY CONFLICT OF ENGINEERING TRADE DEVICES WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
10. PROVIDE BLOCKING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
11. COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.

**TO BE EDITED**

**DIMENSION PLAN LEGEND**

- 11 PARTITION TAG, SEE A601
- X WINDOW TAG, SEE WINDOW SCHEDULE
- A KEYNOTE, SEE DIMENSION PLAN KEYNOTE LEGEND

**DIMENSION PLAN KEYNOTES**

- 1

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FOUNDATION PLAN

**A123**

SHEET NUMBER: 10 OF 25 ARCHITECTURAL

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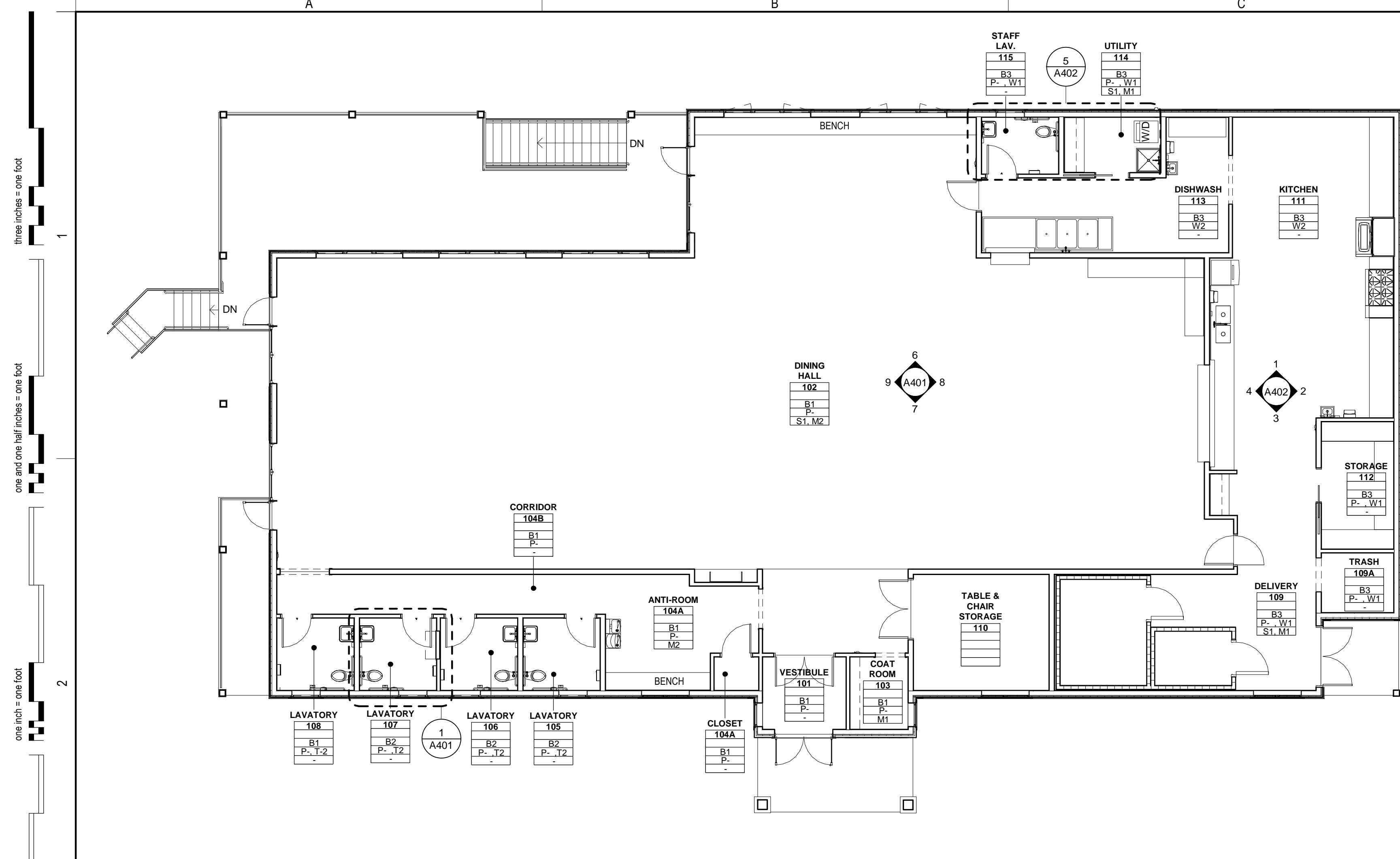
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1 FOUNDATION PLAN  
 A123 1/8" = 1'-0"

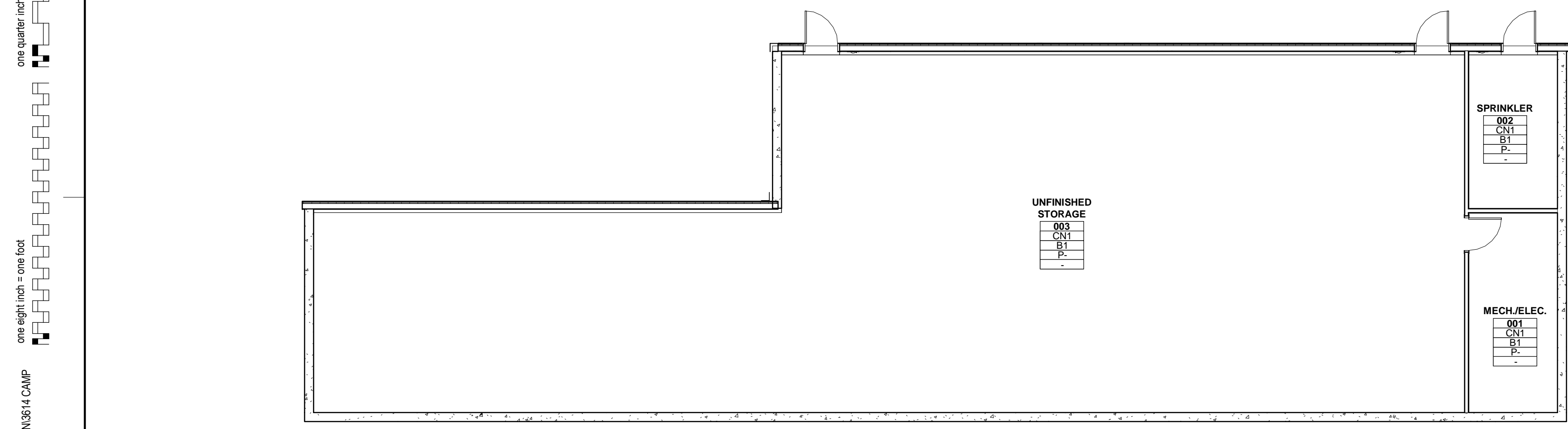
PLAN NORTH

PROGRESS - NOT FOR CONSTRUCTION



1 FIRST FLOOR FINISH PLAN  
1/8" = 1'-0"

PLAN NORTH



2 BASEMENT FINISH PLAN  
1/8" = 1'-0"

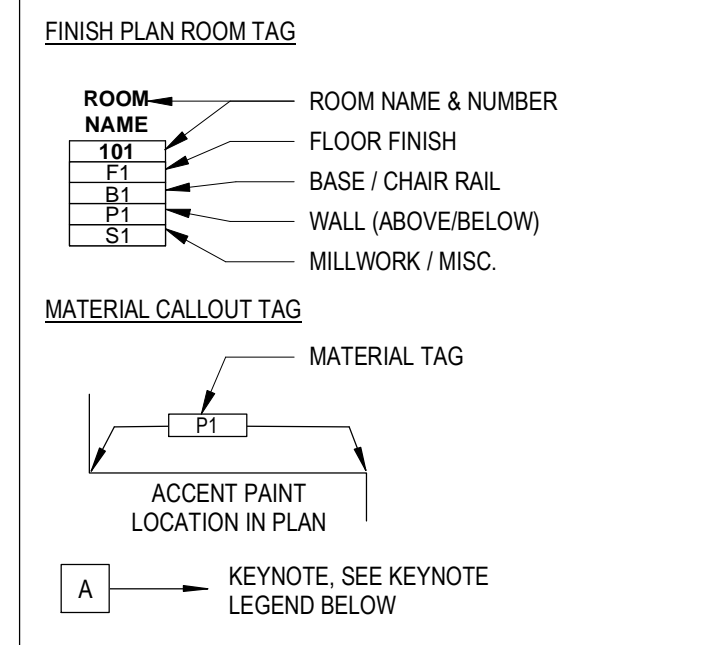
PLAN NORTH

GENERAL FINISH NOTES

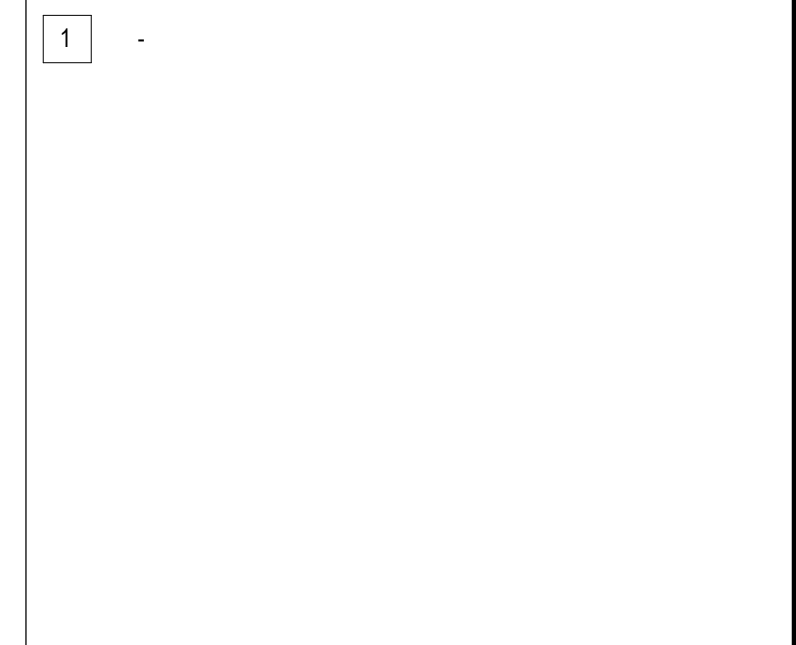
- SEE INTERIOR MATERIALS LEGEND FOR FINISH DESIGNATIONS.
- SEE DOOR SCHEDULE FOR DOOR & FRAME PAINT COLORS.
- SEE INTERIOR ELEVATIONS ON 'A400' SERIES SHEETS.
- RESILIENT FLOOR SHALL EXTEND UNDER ALL CASEWORK.
- ALL ELECTRICAL FIXTURE PLATES AND COVERS SHALL BE U.N.O.
- PAIN METAL STAIR GUARD, HANDRAILS & STRINGERS COLOR U.N.O.
- UNDERSIDE GWB OF STAIR SHALL BE PAINTED WHITE. U.O.N.
- TEST ALL EXISTING AND NEW CONCRETE SLABS FOR MOISTURE VAPOR EMISSIONS (ASTM F1869), INTERNAL RELATIVE HUMIDITY (ASTM 2170), AND ALKALINITY (ASTM F710). IN THE EVENT THAT TEST VALUES EXCEED FLOORING MANUFACTURER'S LIMITS, NOTIFY ARCHITECT TO DETERMINE REMEDIATION METHOD.

TO BE EDITED

FINISH PLAN LEGEND



FINISH PLAN KEYNOTES



INTERIOR FINISH MATERIALS LEGEND

TAG	ITEM	MANUFACTURER	COLLECTION / MODEL	COLOR	SIZE	INSTALL	NOTES
<b>FLOORING</b>							
T1	FLOOR TILE						STONE LOOK
C1	WALK OFF MAT						LOW PILE
CN1	CONCRETE, SEALED						
R1	RESILIENT FLOORING						TRANSITIONLESS WOOD LOOK PLANK
R2	EPOXY						
R3	RUBBER STAIR COMPONENTS						TO BE EDITED
<b>WALL BASE</b>							
B1	RUBBER COVE BASE						
B2	TILE BASE						
B3	EPOXY COVE						
<b>WALL</b>							
P1	PAINT					FIELD PAINT U.N.O	FIELD PAINT U.N.O., EGGSHELL
P2	PAINT					ACCENT PAINT	ACCENT PAINT, EGGSHELL
P3	PAINT					ACCENT PAINT	ACCENT PAINT, EGGSHELL
P4	PAINT					TRIM PAINT	TRIM PAINT, SEMI-GLOSS
T2	TILE						
W1	FRP						
W2	EPOXY						
<b>MILLWORK</b>							
S1	COUNTERS						
M1	CASEWORK						
M2	BENCHES						SOLID WOOD, STAINED
<b>WINDOW TREATMENT</b>							
WT1	WINDOW TREATMENT						

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PLAN KEY:

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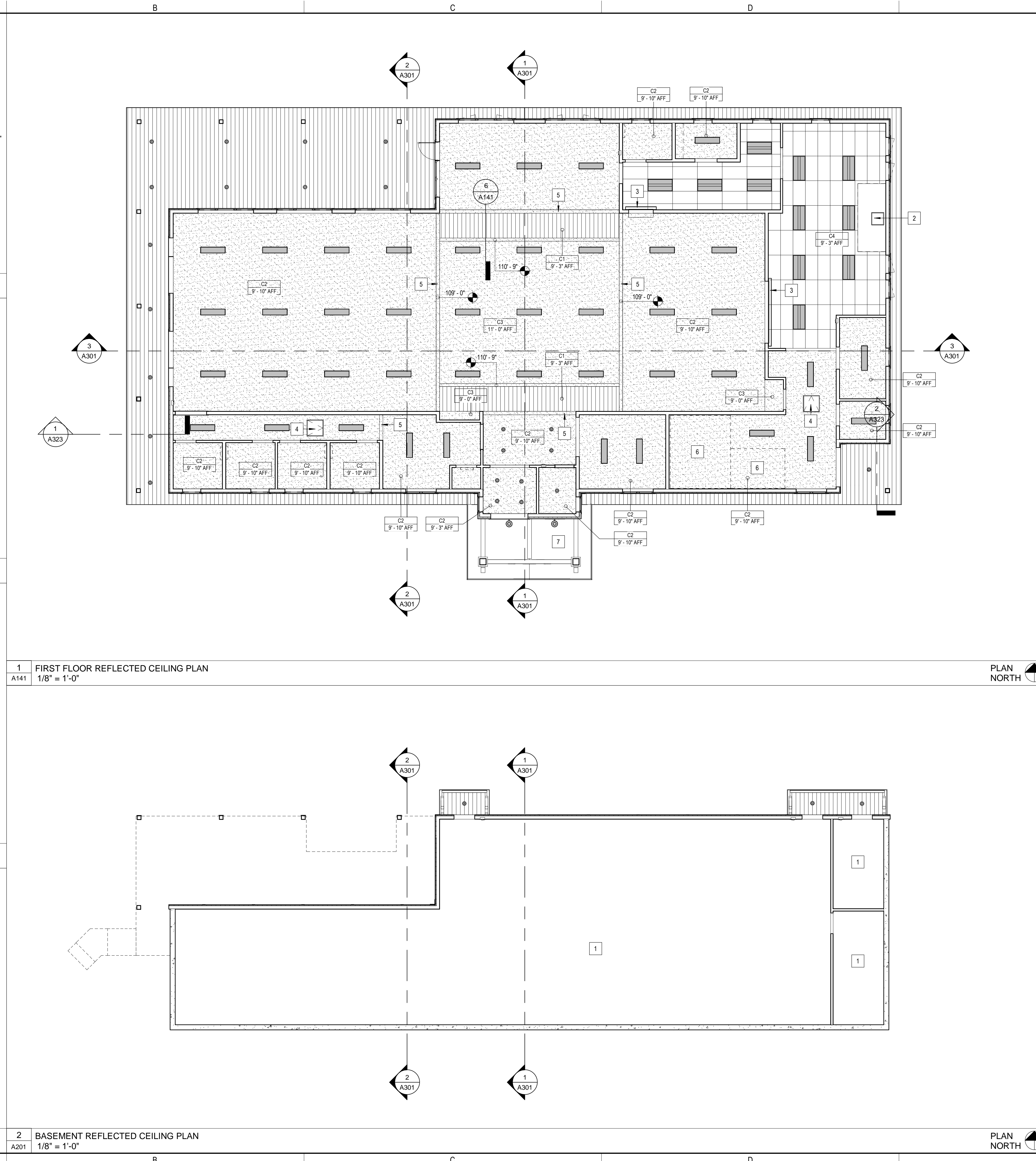
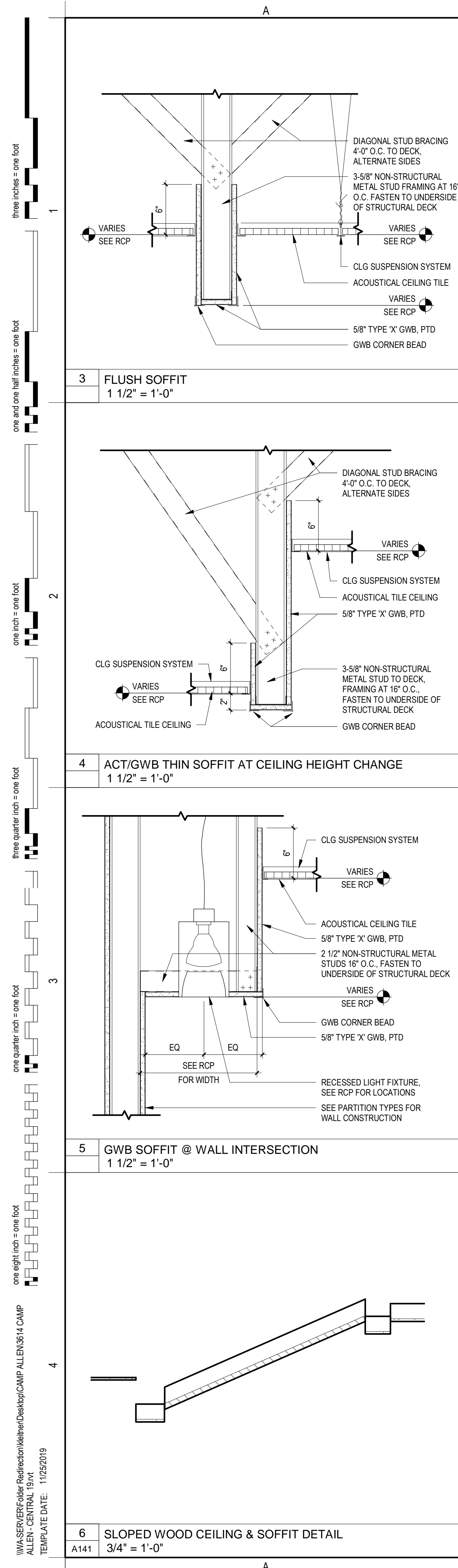
FINISH PLANS

**A131**

SHEET NUMBER: 11 OF 25 ARCHITECTURAL  
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- RCP GENERAL NOTES**
- LIGHT FIXTURE AND MECHANICAL DEVICE LOCATIONS ARE SHOWN FOR ARRANGEMENT PURPOSES ONLY. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR FIXTURES TYPES.
  - SEE WINDOW HEAD DETAILS FOR CEILING CONDITIONS AT WINDOWS.
  - SEE STRUCTURAL DRAWINGS FOR SEISMIC DESIGN CATEGORY AND CEILING SUSPENSION SYSTEM.
- TO BE EDITED**
- RCP ANNOTATION LEGEND**
- A KEYNOTE, SEE RCP KEYNOTE LEGEND
  - CEILING TAG
  - Cx X'X" AFF CEILING TYPE DESIGNATION, SEE CEILING TYPES LEGEND
  - CEILING HEIGHT, ABOVE FINISHED FLOOR
- RCP CEILING TYPES**
- | CEILING TYPE | DESCRIPTION / BASIS OF DESIGN                                  |
|--------------|--|
| C1           | T&G PINE W/ CLEAR SEAL FINISH ON SLOPED ON 2X FRAMING          |
| C2           | GWB CEILING ON 1X STRAPPING @ UNDERSIDE OF STRUCTURE, PTD.     |
| C3           | GWB ON 2X FRAMING, PTD. (TYPICAL OF SOFFITS & HIGH BAY SPACES) |
| C4           | 2X4 VINYL ACT (KITCHEN)  |
- FIXTURE LEGEND**
- TROFFER AND RECESSED LIGHT FIXTURES**
- 24" X 24" TROFFER LIGHT FIXTURE
  - 24" X 48" TROFFER LIGHT FIXTURE
  - 12" X 48" TROFFER LIGHT FIXTURE
  - RECESSED CAN LIGHT FIXTURE
  - DIRECTIONAL RECESSED CAN LIGHT FIXTURE
- PENDANT LIGHT FIXTURES**
- LINEAR PENDANT LIGHT FIXTURE
  - PENDANT CAN LIGHT FIXTURE
- SURFACE MOUNTED LIGHT FIXTURES**
- LED LINEAR UTILITY SURFACE MOUNTED FIXTURE
- WALL MOUNTED LIGHT FIXTURES**
- LED LINEAR WALL FIXTURE
- MECHANICAL REGISTERS AND GRILLES**
- SUPPLY AIR DIFFUSER
  - RETURN AIR GRILLE OR RECESSED EXHAUST FAN
- RCP KEYNOTES**
- SURFACE MOUNTED UTILITY LIGHTS (NOT SHOWN). SEE ELECTRICAL PLANS
  - RANGE HOOD
  - WALL MOUNT SHUTTER COIL BOX
  - 30"X30" ATTIC ACCESS PANEL
  - GWB SOFFIT. HEIGHT VARIES. SEE DETAILS
  - COMMERCIAL COOLER BY OTHERS. SEPARATE LIGHTING PACKAGE. PROVIDE POWER PER COOLER SPECIFICATIONS
  - EXPOSED TIMBER STRUCTURE W/ PVC SOFFIT ON UNDERSIDE OF STRUCTURE ABOVE

PLAN KEY:

PROJECT TITLE / ADDRESS:  
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REFLECTED CEILING PLANS

**A141**

PROGRESS - NOT FOR CONSTRUCTION

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CONSTRUCTION MANAGER  
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**GENERAL ROOF PLAN NOTES**

1. PROVIDE MIN 5'-6" SELF-ADHERING PROTECTION MEMBRANE AT ALL EAVES AND VALLEYS.
2. PROVIDE MIN 3'-0" SELF-ADHERING PROTECTION MEMBRANE AT ALL RAKES.
3. PROVIDE SELF-ADHERING PROTECTION MEMBRANE AT ALL ROOF/WALL INTERSECTIONS: 1'-6" VERTICAL UP WALL SURFACE, 1'-6" HORIZONTAL ON ROOF SURFACE.
4. PROVIDE ALUMINUM STEP FLASHING OVER SELF-ADHERING PROTECTION MEMBRANE WITH 8" VERTICAL LEG MINIMUM AT VERTICAL WALL SURFACE.
5. ALL VALLEYS TO BE ASPHALT SHINGLES, CALIFORNIA CUT.
6. ALL FLASHINGS TO BE FACTORY FINISHED ALUM. COLOR TO MATCH TRIM.
7. PROVIDE END CAPS AT RIDGE VENTS.
8. RIDGE & SOFFIT VENTS TO HAVE INSECT SCREENS.
9. CLASS 'A' 30 YEAR ASPHALT SHINGLES TO BE LAID OVER SHINGLE UNDERLAYMENT.
10. NOTIFY OWNER OF ANY ROOF PENETRATIONS OTHER THAN THOSE SHOWN FOR APPROVAL PRIOR TO CONSTRUCTION.
11. CONTRACTOR TO PROVIDE ADEQUATE VENTILATION THROUGH SHEATHING AT EACH JOIST SPACE **TO BE** OVERFRAMING OCCURS.

EDITED

**ROOF PLAN LEGEND**

- ASPHALT SHINGLE ROOFING WITH UNDERLAYMENT
- SELF-ADHERING PROTECTION MEMBRANE UNDER UNDERLAYMENT
- INDICATES DOWNWARD SLOPE OF ROOF
- KEYNOTE. SEE ROOF PLAN KEYNOTE LEGEND

**ROOF PLAN KEYNOTES**

KEY #	DESCRIPTION
1	RANGE HOOD EXHAUST VENT
2	RAIN DIVERTER

PLAN KEY:

PROJECT TITLE / ADDRESS:  
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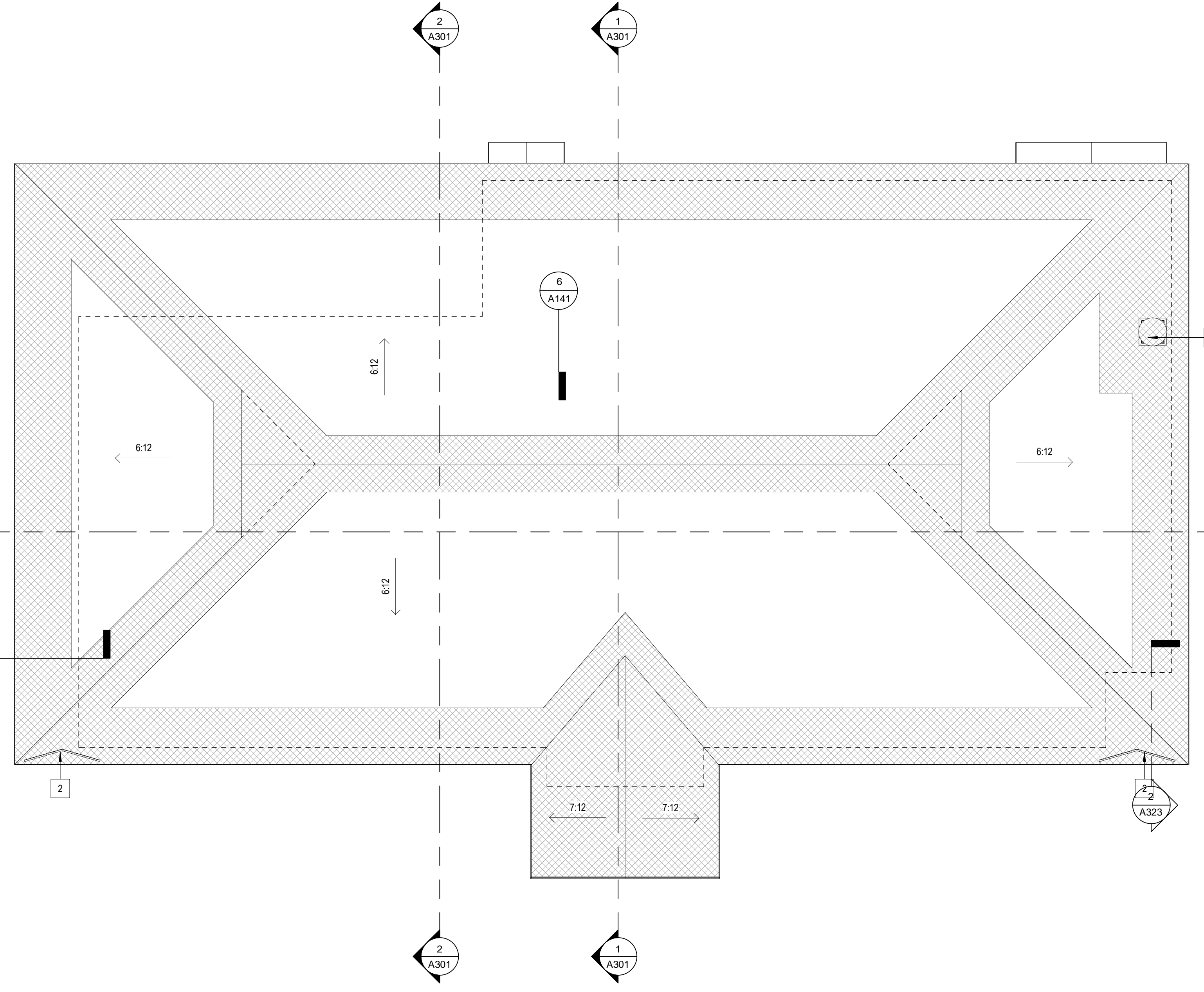
ROOF PLAN

**A151**

SHEET NUMBER: 13 OF 25 ARCHITECTURAL

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**1 ROOF PLAN**  
A151  
1/8" = 1'-0"

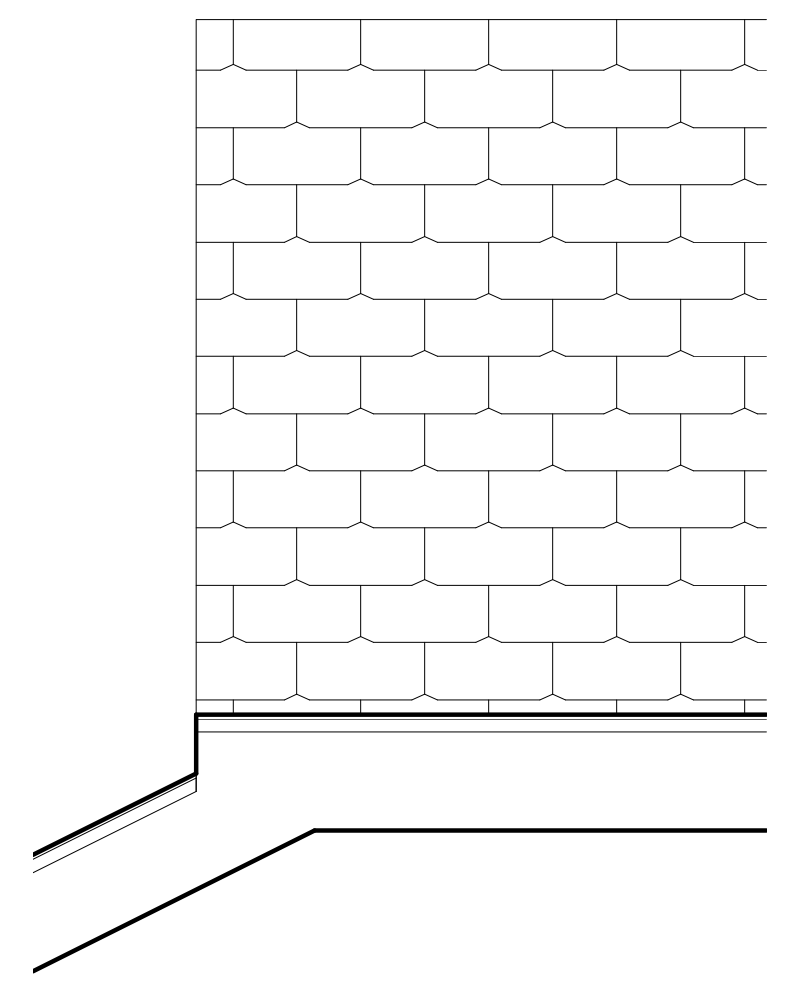
**ROOF VENTILATION CALCULATIONS**

1. BASIS OF DESIGN RIDGE VENT PRODUCT: RIDGEMASTER PLUS, 12,229 SQ. IN./LF NET FREE AREA.
2. BASIS OF DESIGN SOFFIT VENT PRODUCTS: PAC-750 SOFFIT BY PAC-CLAD, HALF VENT, WHITE, 6% VENTED AREA, 8.64 SQ. IN./SF NET FREE AREA; PAC-750 SOFFIT BY PAC-CLAD, FULL VENT, WHITE, 12% VENTED AREA, 17.28 SQ. IN./SF NET FREE AREA.
3. VENTILATION REQUIREMENTS PROVIDED ARE BASED ON HAVING A VAPOR RETARDER STAPLED AND TAPED ON THE WARM SIDE OF THE CEILING.
4. VENTILATION QUANTITIES PROVIDED ARE BASED ON RIDGE VENT LENGTH MARKED ON PLAN.
5. VENTILATION QUANTITIES NOT LESS THAN THE REQUIRED MINIMUM INDICATED MAY BE USED WITH APPROVAL OF THE ARCHITECT.
6. RIDGE OR GABLE VENT NET FREE AREA MUST BE LESS THAN EAVE/SOFFIT VENTS.

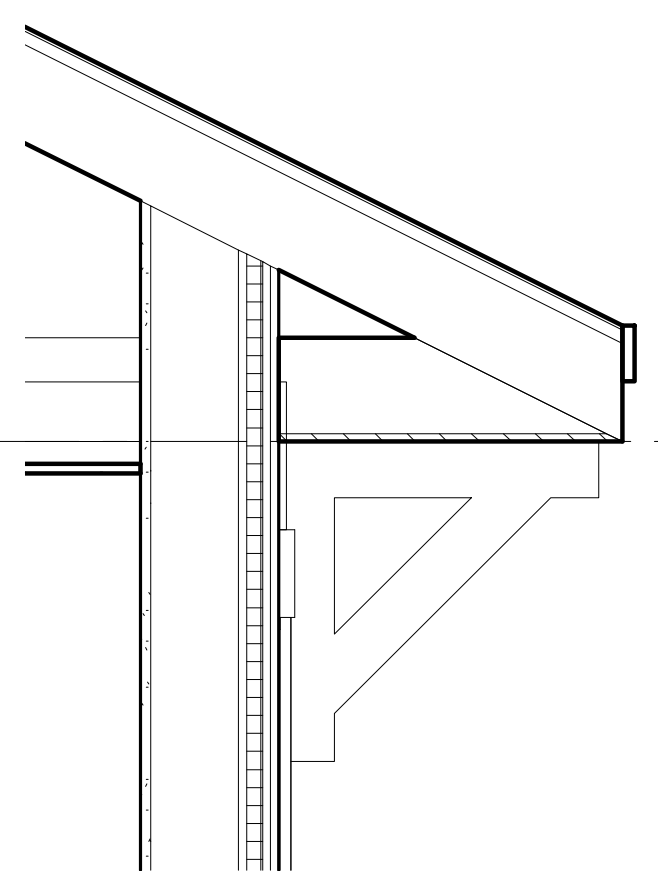
**CONFIRM VENTING PRODUCTS**

ROOF AREA #1		ROOF AREA #2	
MAIN ROOF, TOTAL AREA:	5566 SF		
TOTAL NET FREE AREA, MIN. REQUIRED: (AREA x 1/300) = (5566 SF x 1/300) = 18.55 SF			
MAXIMUM RIDGE/GABLE VENT AREA, REQUIRED: (TOTAL NET FREE AREA / 2) = (18.55 SF / 2) = 9.27 SF			
SOFFIT VENT, PROVIDED: 6% PAC-750 SOFFIT @ 14" WIDE PER LIN. FT. = 10.8 SQ. IN./LIN. FT. PROVIDED: 170 LIN. FT. SOFFIT VENT x 10.8 SQ. IN./LIN. FT. = 1743 SQ. IN. = 12.04 SF (63.5%)			
RIDGE VENT, PROVIDED: RIDGEMASTER PLUS = 12,229 SQ. IN./LIN. FT. PROVIDED: 123 LIN. FT. RIDGE VENT x 12,229 SQ. IN./LIN. FT. = 1504.17 SQ. IN. = 10.45 SF (46.5%)			
TOTAL NET FREE AREA PROVIDED:	= 22.49 SF		

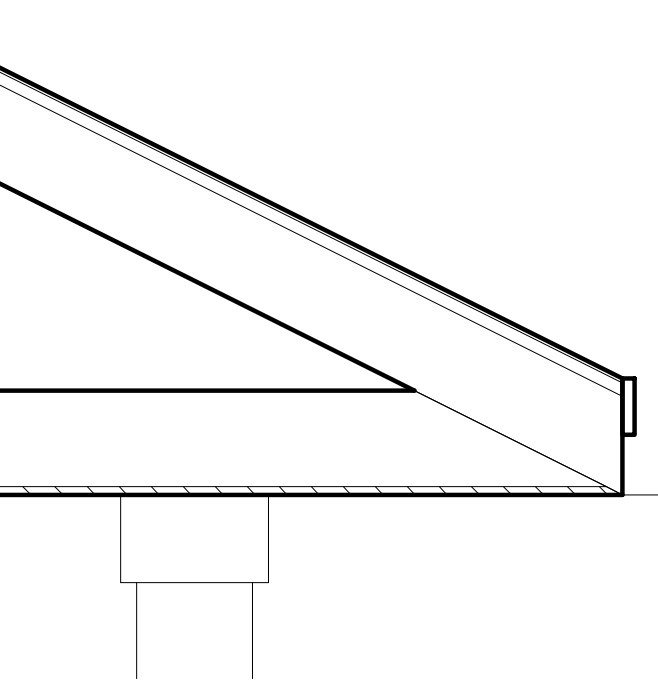
**SAMPLE, EDIT FOR PROJECT**



**2 RIDGE VENT DETAIL**  
A301  
1" = 1'-0"



**3 TYPICAL SOFFIT & BRACKET DETAIL**  
A322  
1" = 1'-0"



**4 PORCH SOFFIT**  
A322  
1" = 1'-0"

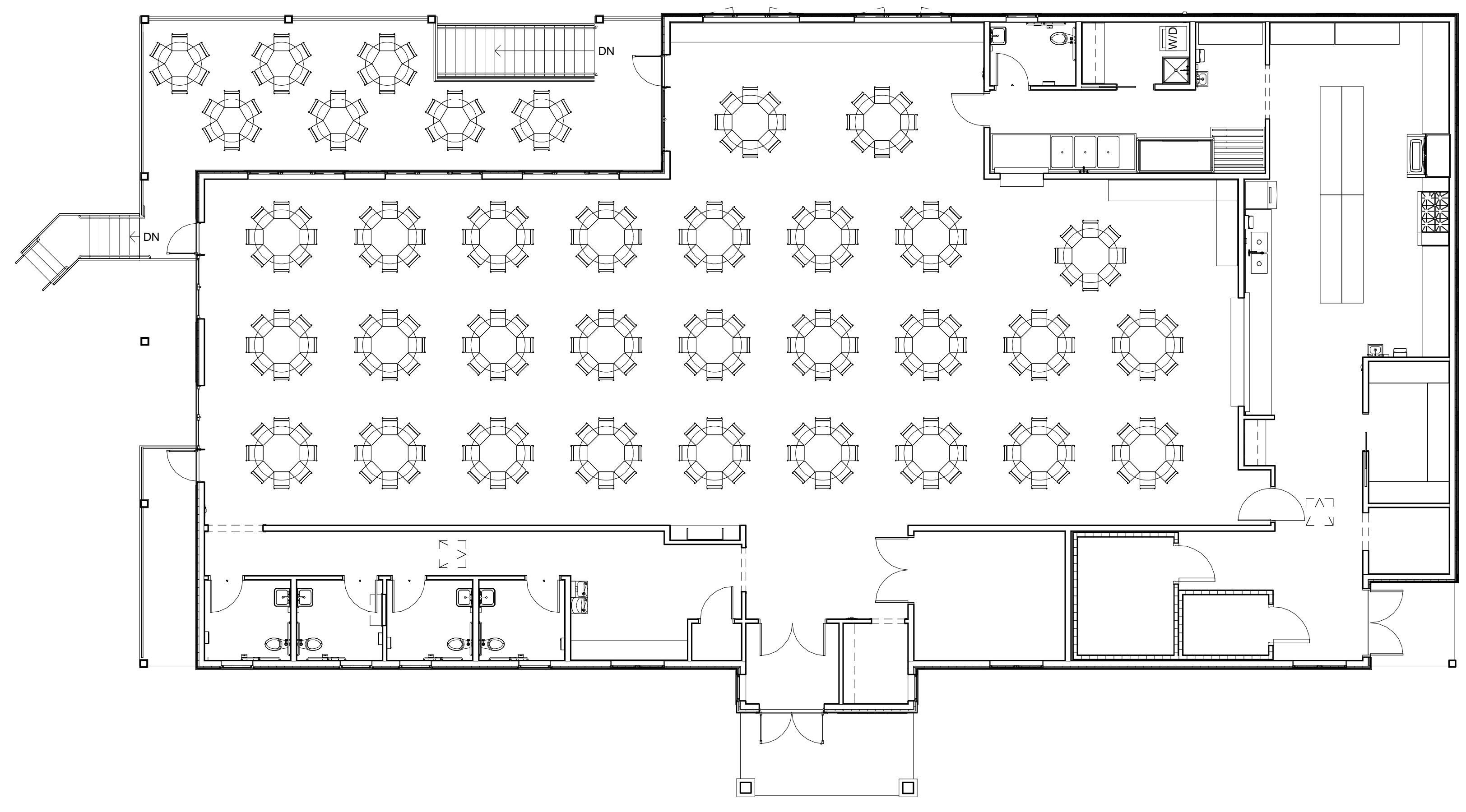
**HOOD VENT DETAIL**

three inches = one foot  
 one and one half inches = one foot  
 one inch = one foot  
 three quarter inch = one foot  
 one quarter inch = one foot  
 one eighth inch = one foot  
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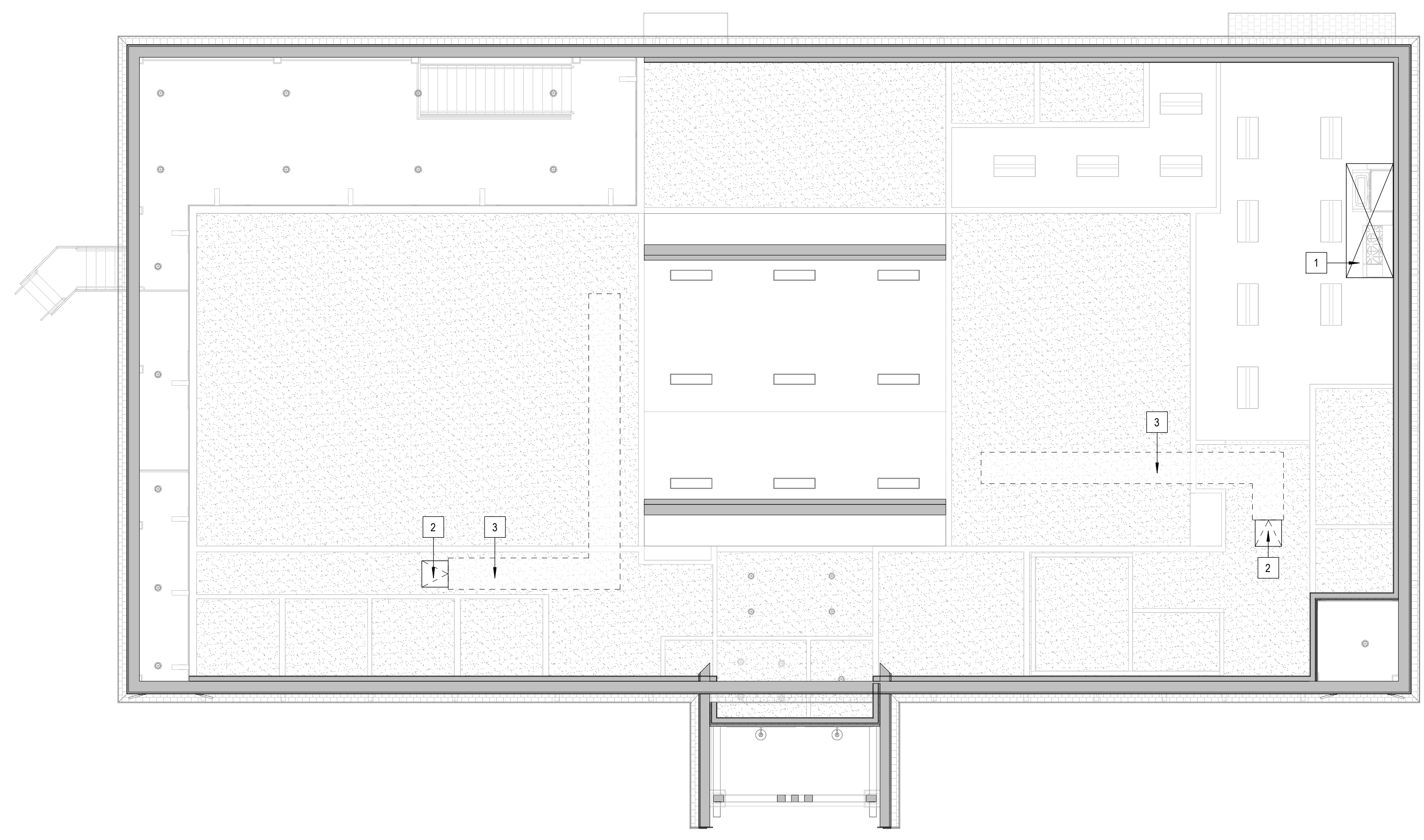


three inches = one foot  
 one and one half inches = one foot  
 one inch = one foot  
 three quarter inch = one foot  
 one quarter inch = one foot  
 one eighth inch = one foot  
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1 FIRST FLOOR FURNITURE & EQUIPMENT DIAGRAM  
 A201 1/8" = 1'-0"

PLAN NORTH



**ACCESS HATCH DETAIL**

2 ATTIC DIAGRAM  
 A151 1/8" = 1'-0"

PLAN NORTH

**FURNITURE & EQUIPMENT PLAN NOTES**

1. NOTE  
 TO BE EDITED

**EQUIPMENT PLAN LEGEND**

- EQUIPMENT TAG
- KEYNOTE. SEE FLOOR PLAN KEYNOTE LEGEND

**EQUIPMENT PLAN KEYNOTES**

- 1.

**ATTIC GENERAL NOTES**

- 1. LIGHT FIXTURE AND MECHANICAL DEVICE LOCATIONS ARE SHOWN FOR ARRANGEMENT PURPOSES ONLY. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR FIXTURES TYPES.

**ATTIC KEYNOTES**

- 1 RANGE HOOD
- 2 30"x30" ATTIC ACCESS HATCH
- 3 36" WIDE 3/4" PLYWOOD PLATFORM. PATH TBD BY MECH. UNIT LAYOUT. PROVIDE SWITCHING @ PANEL FOR UTILITY LIGHTS

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**FURNITURE/ EQUIPMENT & ATTIC DIAGRAMS**

**A161**

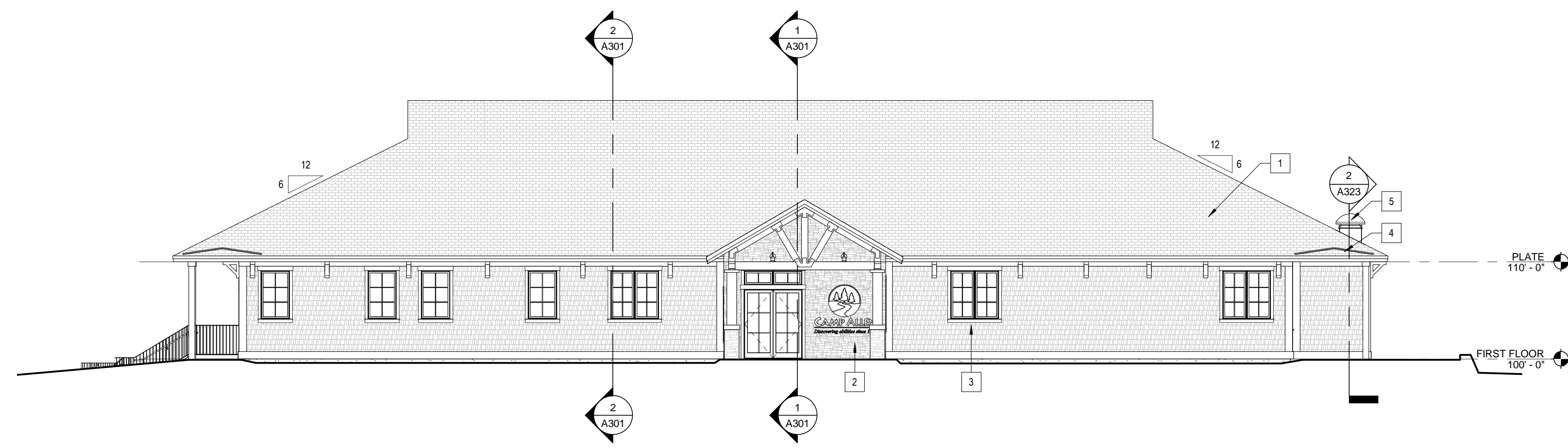
SHEET NUMBER: 14 OF 25 ARCHITECTURAL

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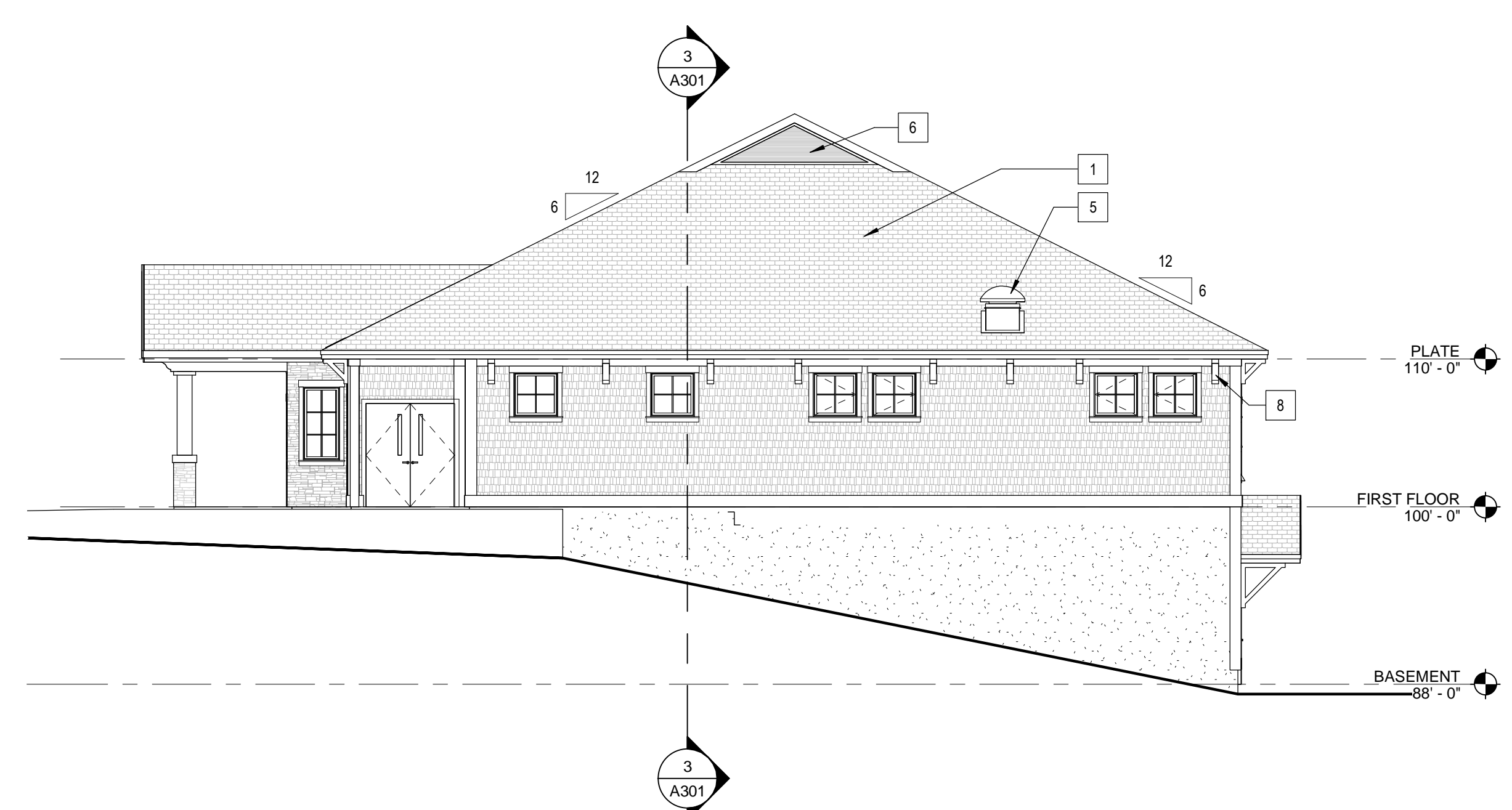
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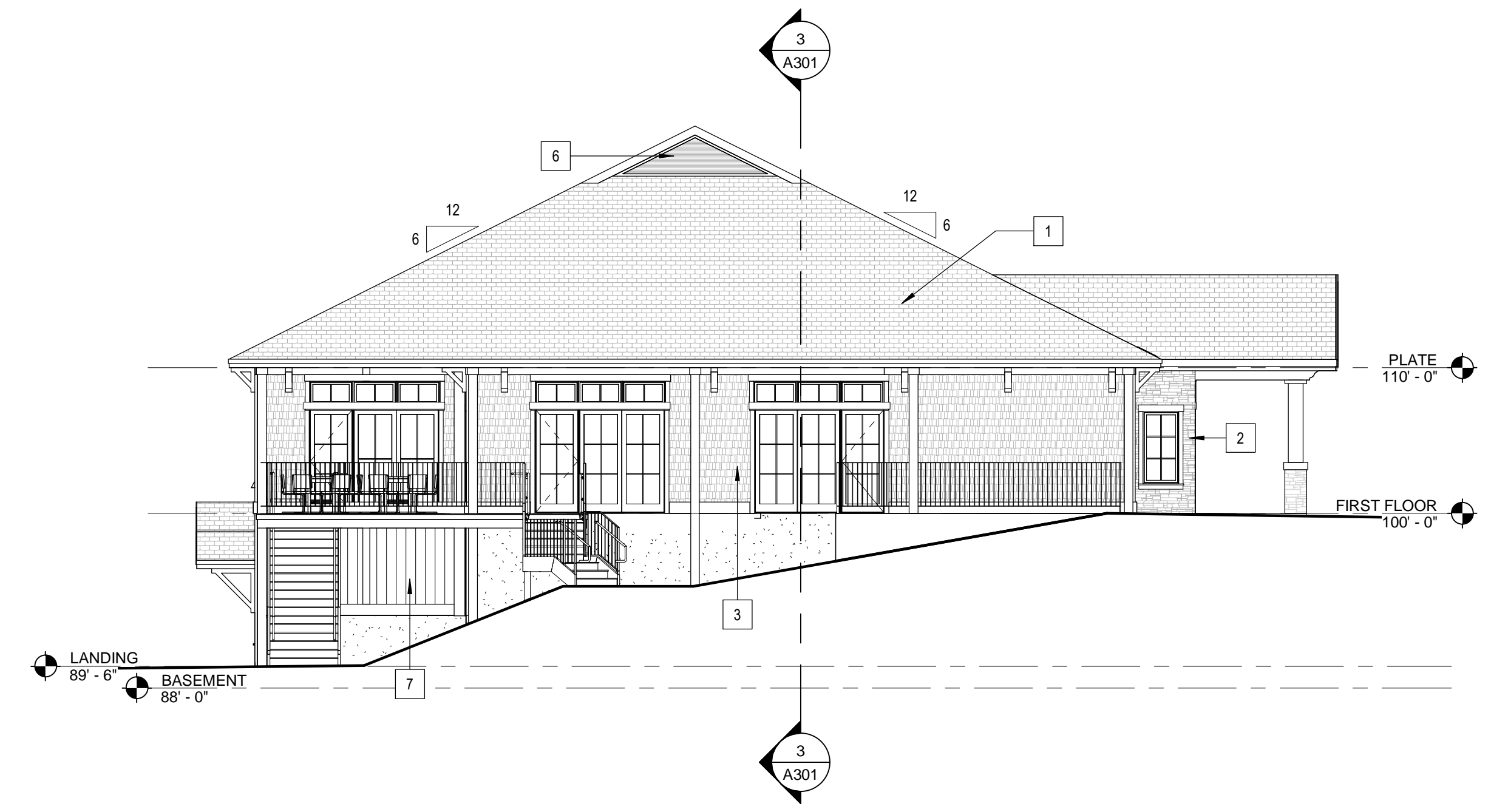




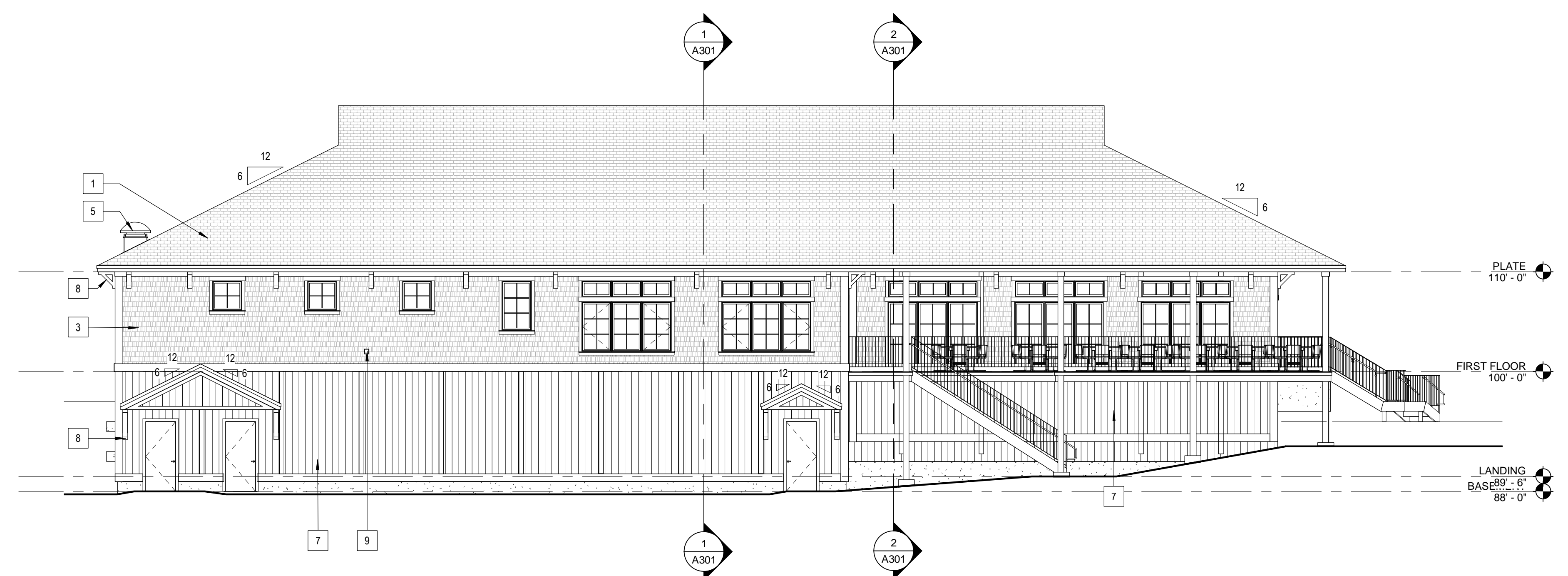
1 FRONT ELEVATION  
A201  
1/8" = 1'-0"



2 RIGHT ELEVATION  
A201  
1/8" = 1'-0"



3 LEFT ELEVATION  
A111  
1/8" = 1'-0"



4 REAR ELEVATION  
A111  
1/8" = 1'-0"

**GENERAL ELEVATION NOTES**

1. REFER TO MECH DWGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

**ELEVATION LEGEND**

- A — KEYNOTE, SEE ELEVATION KEYNOTE LEGEND
- (X) WINDOW TAG, SEE DOOR SCHEDULE SHEET

**ELEVATION KEYNOTES**

- 1 ARCHITECTURAL ASPHALT SHINGLE
- 2 NATURAL STONE VENEER
- 3 WOOD SHINGLE SIDING
- 4 RAIN DIVERTER
- 5 RANGE HOOD EXHAUST VENT
- 6 MECHANICAL LOUVER
- 7 VERTICAL BOARD & BATTEN SIDING
- 8 DECORATIVE BRACKET
- 9 DRYER VENT



27 Warren Street Concord NH 03301  
T 603.225.0640 F 603.225.0621 www.warrenstreet.coop

**CAMP ALLEN**  
56 CAMP ALLEN ROAD  
BEDFORD, NH 03110

**HARVEY CONSTRUCTION**  
CONSTRUCTION MANAGER  
10 HARVEY ROAD  
BEDFORD, NH 03110  
P. (603) 624-4600

PLAN KEY:

PROJECT TITLE / ADDRESS:  
**CAMP ALLEN  
DINING HALL**  
56 CAMP ALLEN ROAD  
BEDFORD, NH 03110

SCALE: AS NOTED DWN BY: KL  
JOB #: 3614 CHK BY: SD

PRINT DATE: 6/2/2020 1:20:07 PM

ISSUE DATE:

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DESIGN DEVELOPMENT**

REVISION	DATE	COMMENTS

**EXTERIOR ELEVATIONS**

**A201**

SHEET NUMBER: 15 OF 25 ARCHITECTURAL

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PROGRESS - NOT FOR CONSTRUCTION

three inches = one foot  
 one and one half inches = one foot  
 one inch = one foot  
 three quarter inch = one foot  
 one quarter inch = one foot  
 one eighth inch = one foot  
 W:\SERVER\order\Redirecton\Wheeler\Desktop\CAMP ALLEN\3614 CAMP ALLEN - CENTRAL 15.rvt  
 TEMPLATE DATE: 1/12/2019



PLAN KEY:

PROJECT TITLE / ADDRESS:  
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DINING HALL**  
56 CAMP ALLEN ROAD  
BEDFORD, NH 03110

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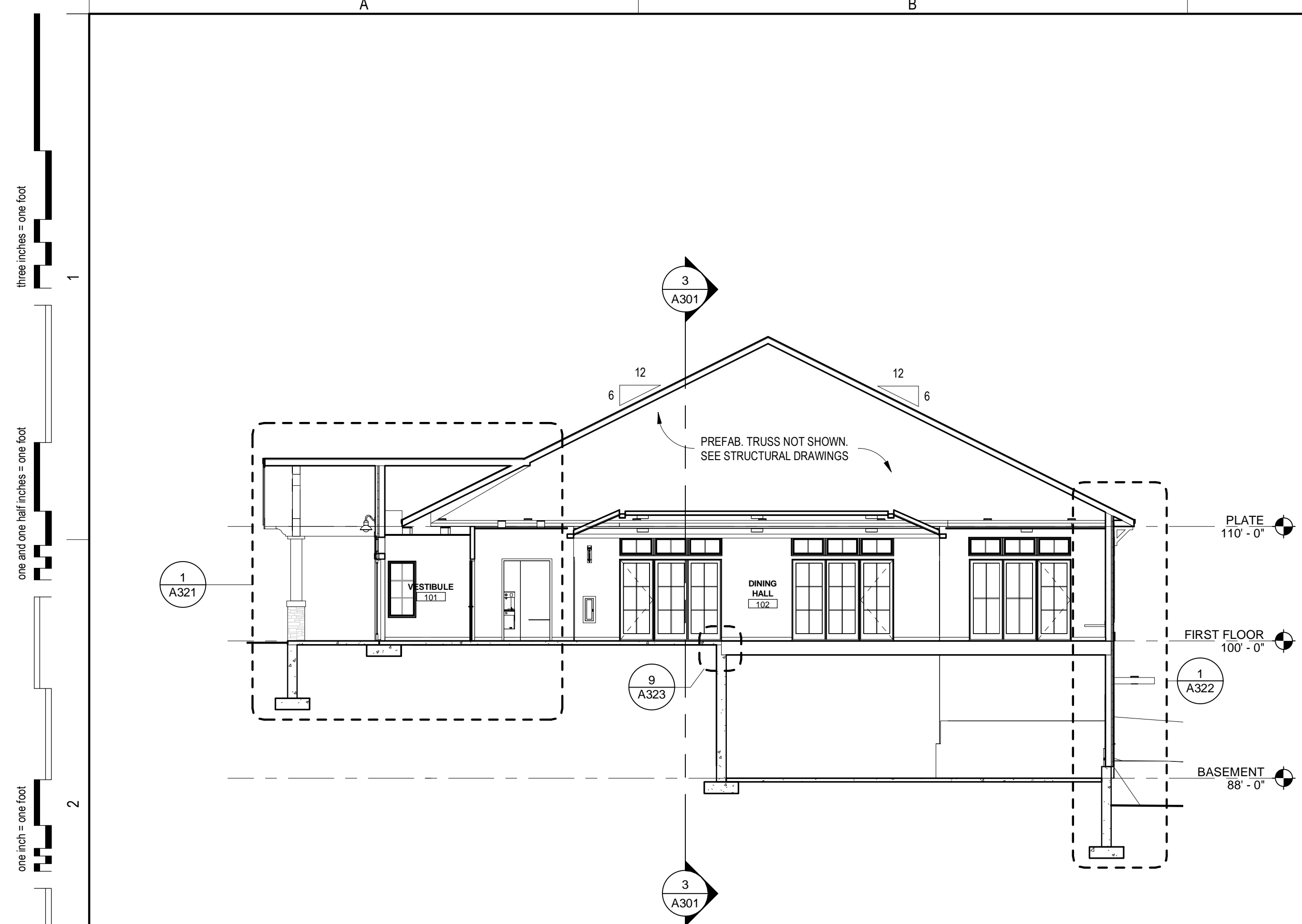
**BUILDING SECTIONS**

## A301

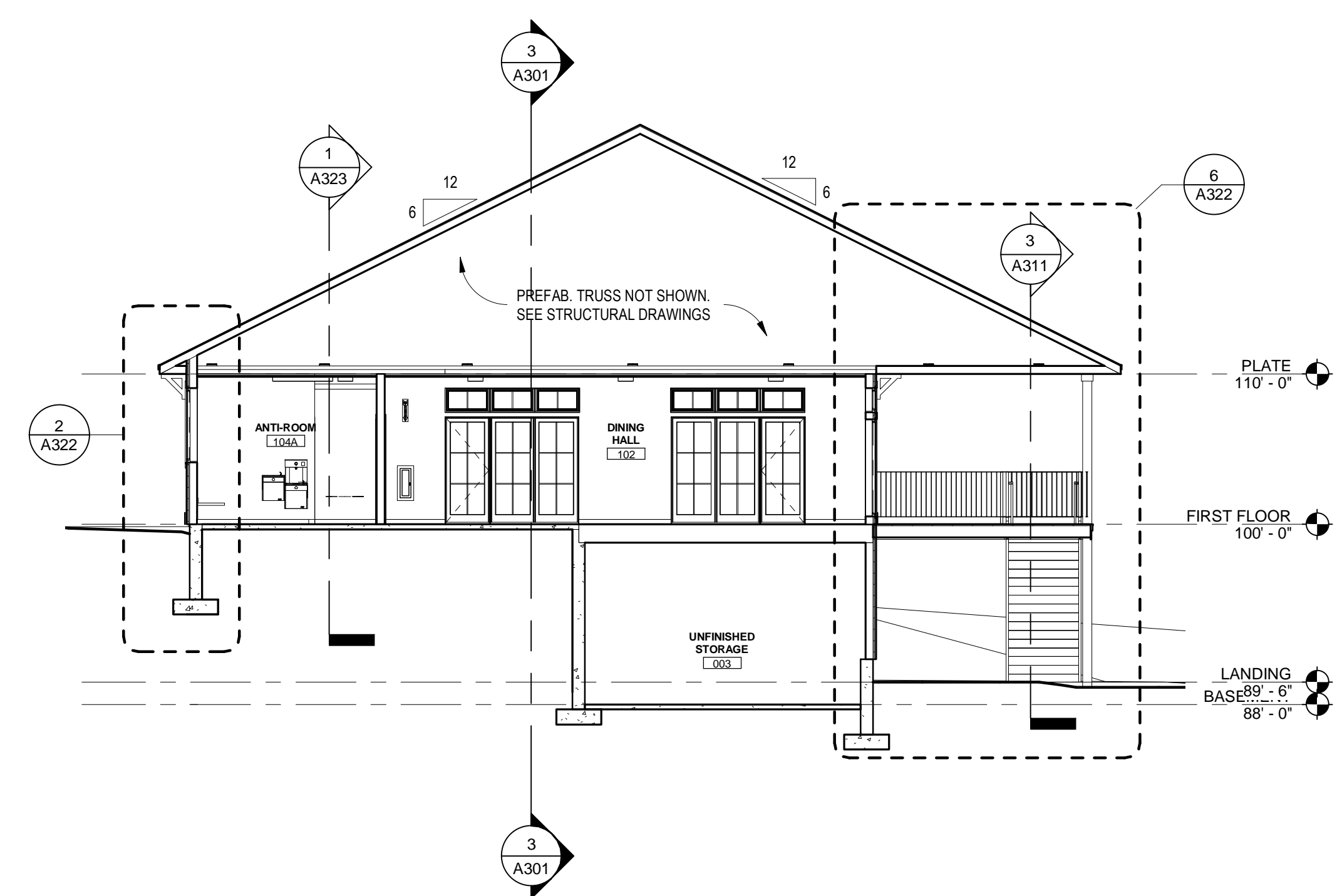
SHEET NUMBER: 16 OF 25 ARCHITECTURAL

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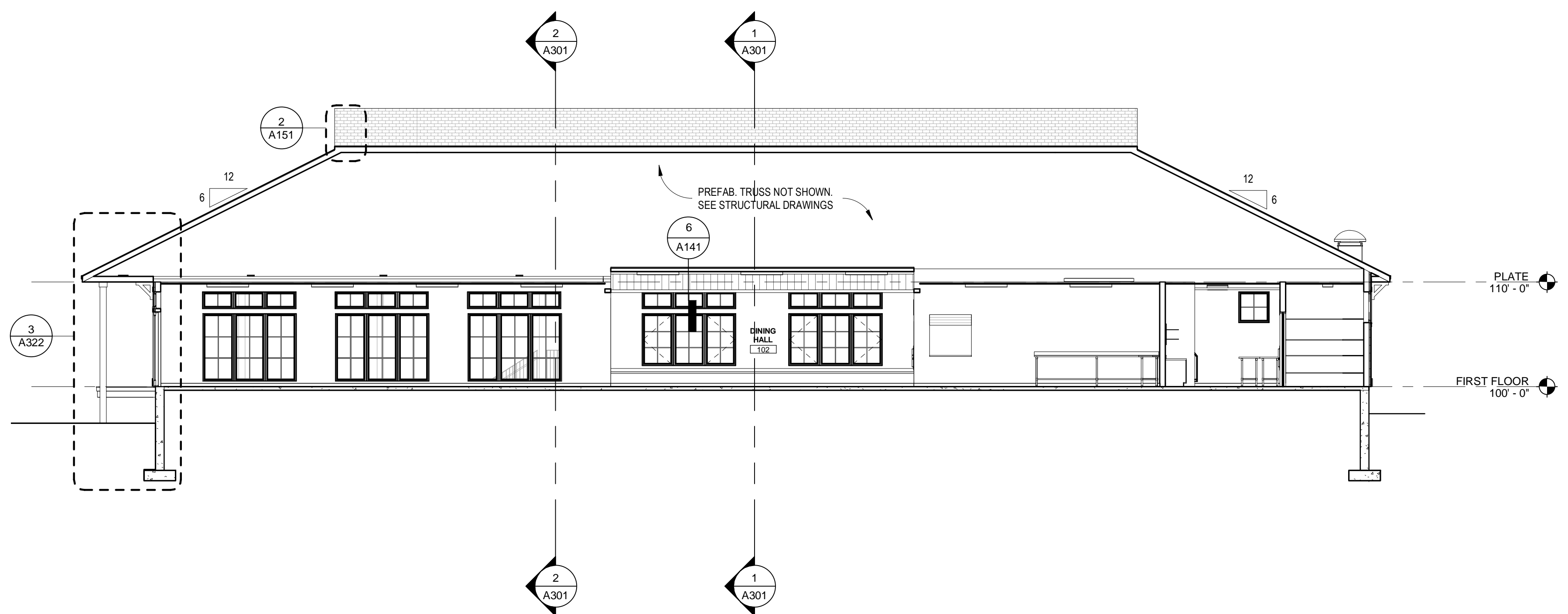
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1 BUILDING SECTION  
A111 1/8" = 1'-0"



2 BUILDING SECTION  
A111 1/8" = 1'-0"



3 BUILDING SECTION  
A111 1/8" = 1'-0"

three inches = one foot  
 one and one half inches = one foot  
 one inch = one foot  
 three quarter inch = one foot  
 one quarter inch = one foot  
 one eighth inch = one foot  
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 TEMPLATE DATE: 1/12/2019

PLAN KEY:

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BEDFORD, NH 03110

SCALE: AS NOTED DWN BY: KL  
JOB #: 3614 CHK BY: SD

PRINT DATE: 6/2/2020 1:20:08 PM

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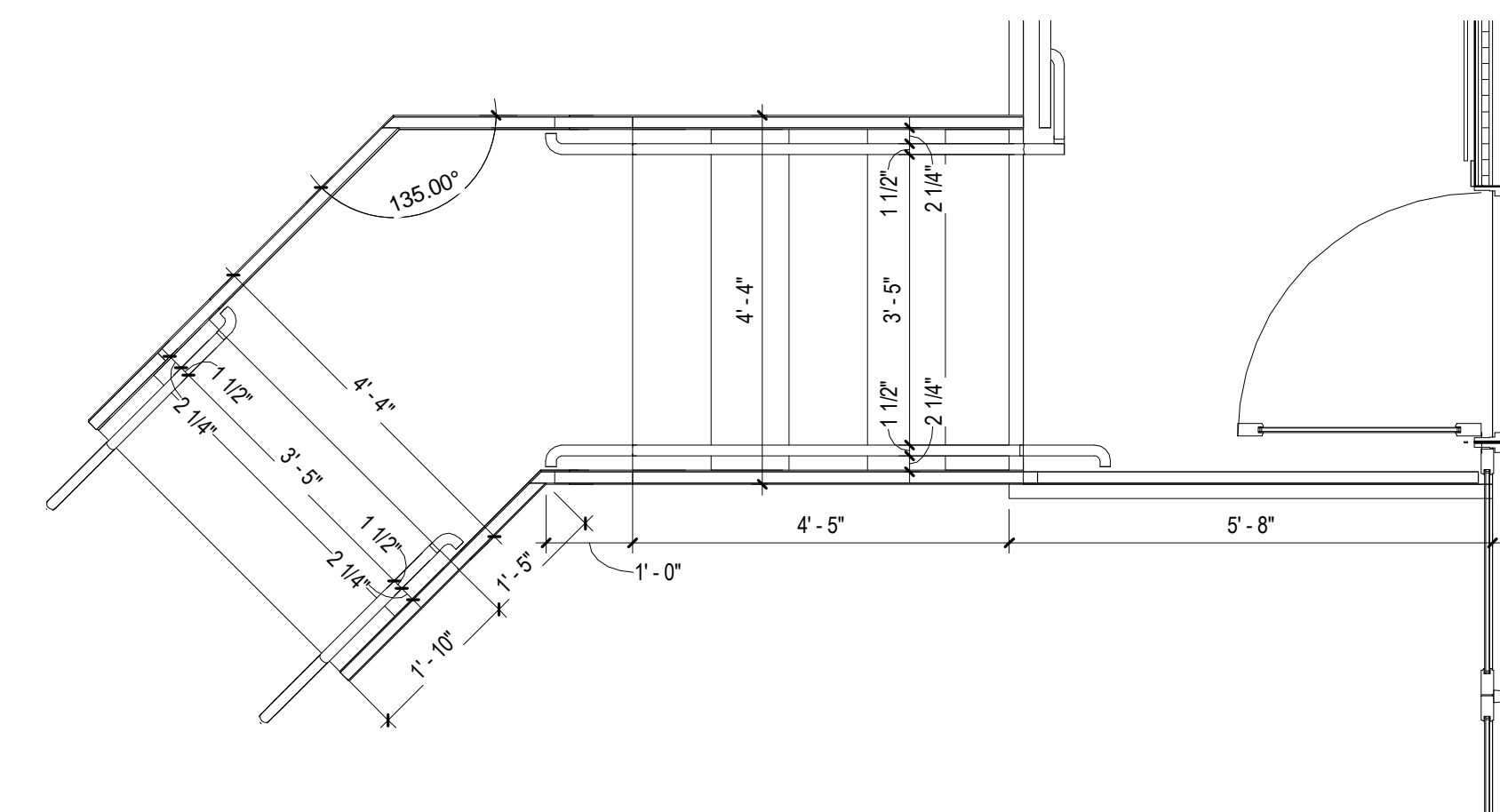
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DESIGN DEVELOPMENT**

REVISION	DATE	COMMENTS

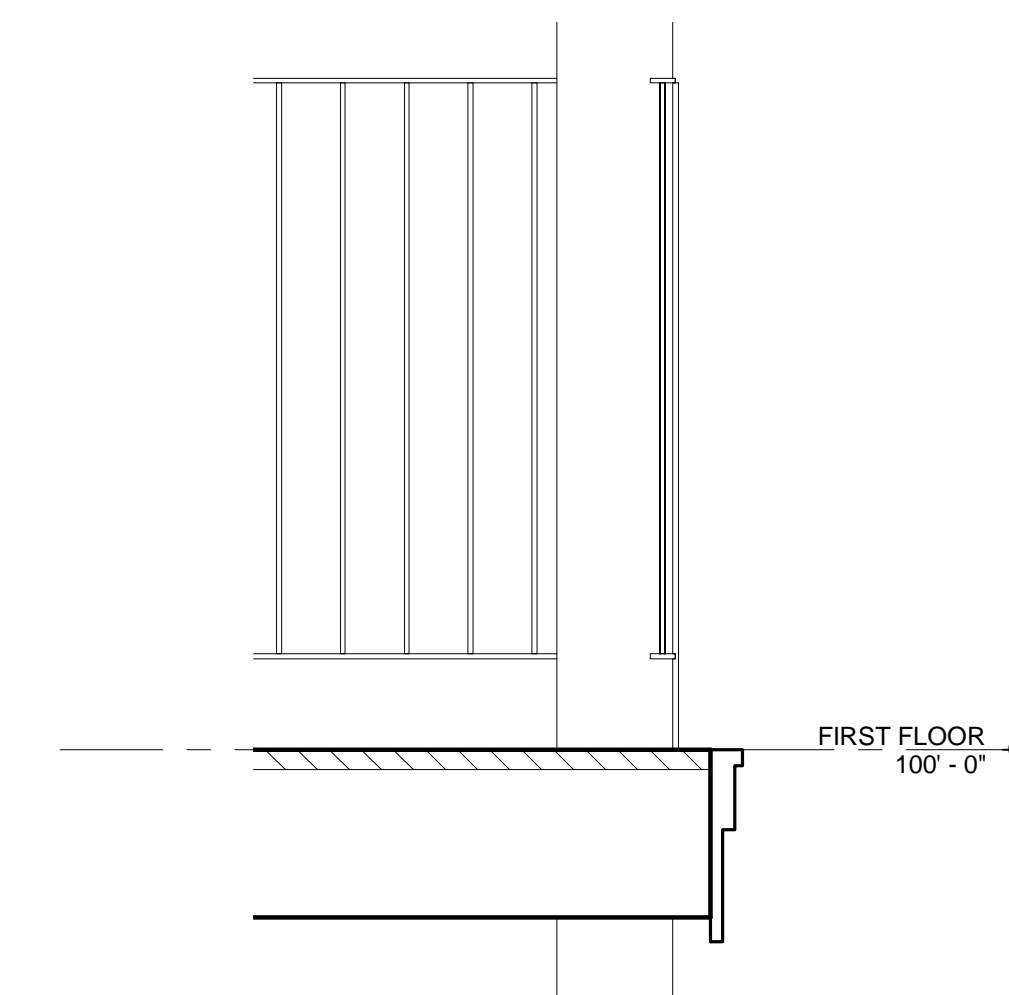
**EXTERIOR STAIR & DECK  
DETAILS**

## A311

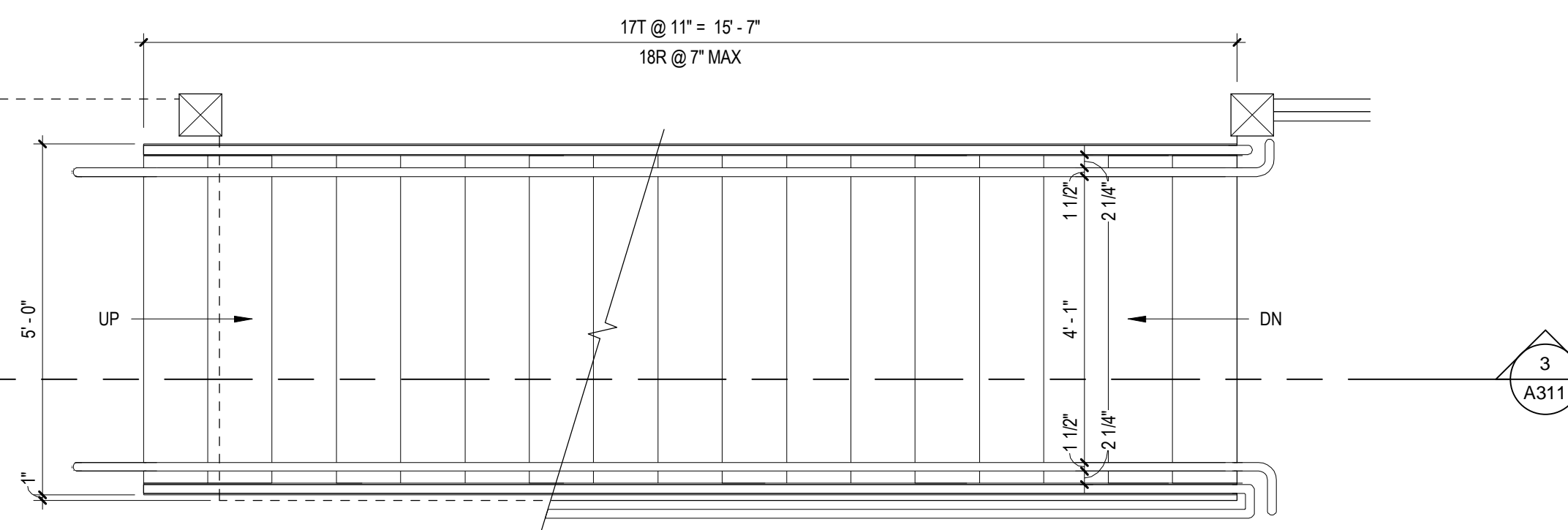
SHEET NUMBER: 17 OF 25 ARCHITECTURAL  
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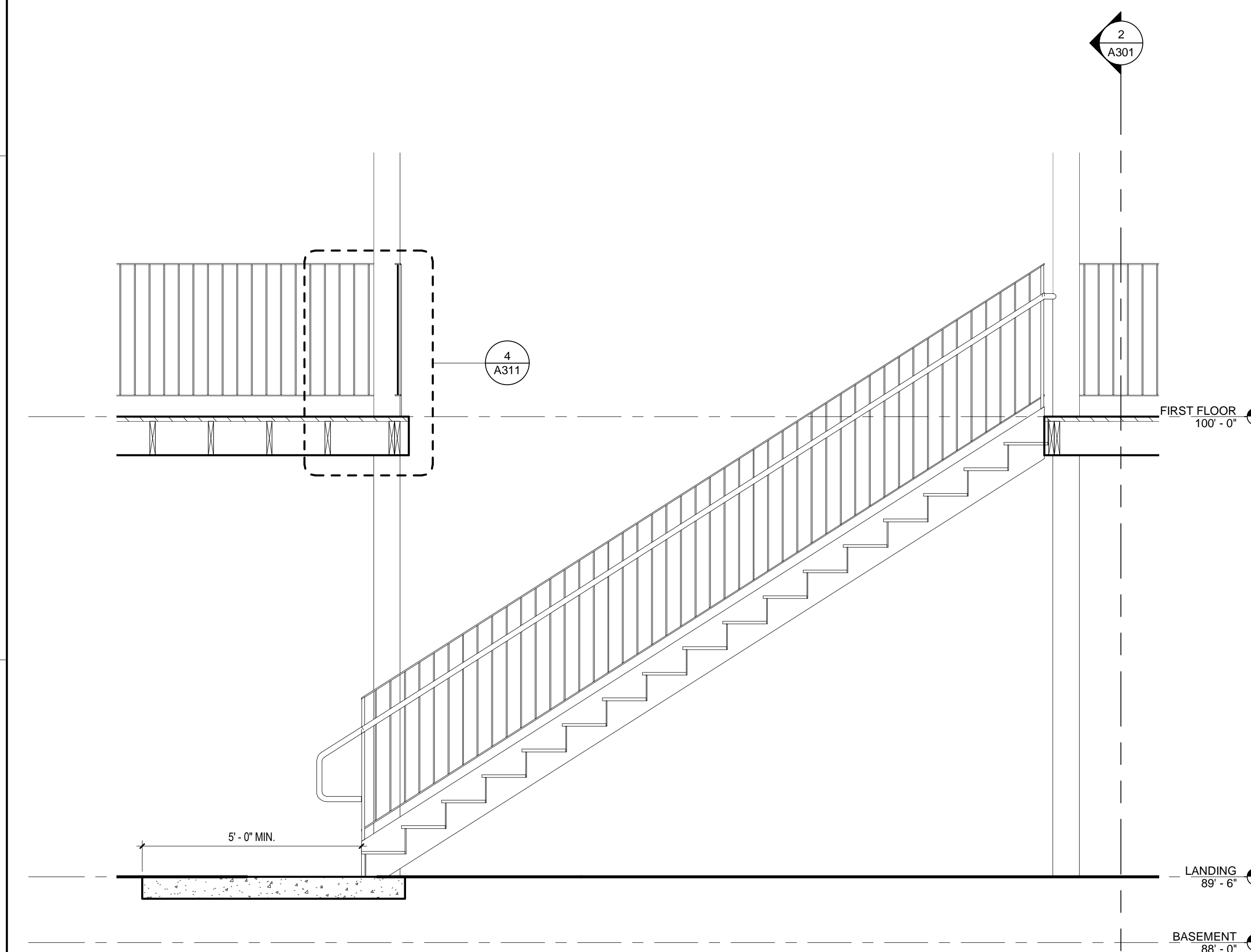
2 DECK STAIR 2 - PLAN  
1/2" = 1'-0"



4 DECK RAILING DETAIL  
1" = 1'-0"



1 DECK STAIR 1 - PLAN  
1/2" = 1'-0"



3 DECK STAIR 1 - SECTION  
1/2" = 1'-0"



PLAN KEY:

PROJECT TITLE / ADDRESS:  
**CAMP ALLEN DINING HALL**  
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BEDFORD, NH 03110

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JOB #: 3614 CHK BY: SD

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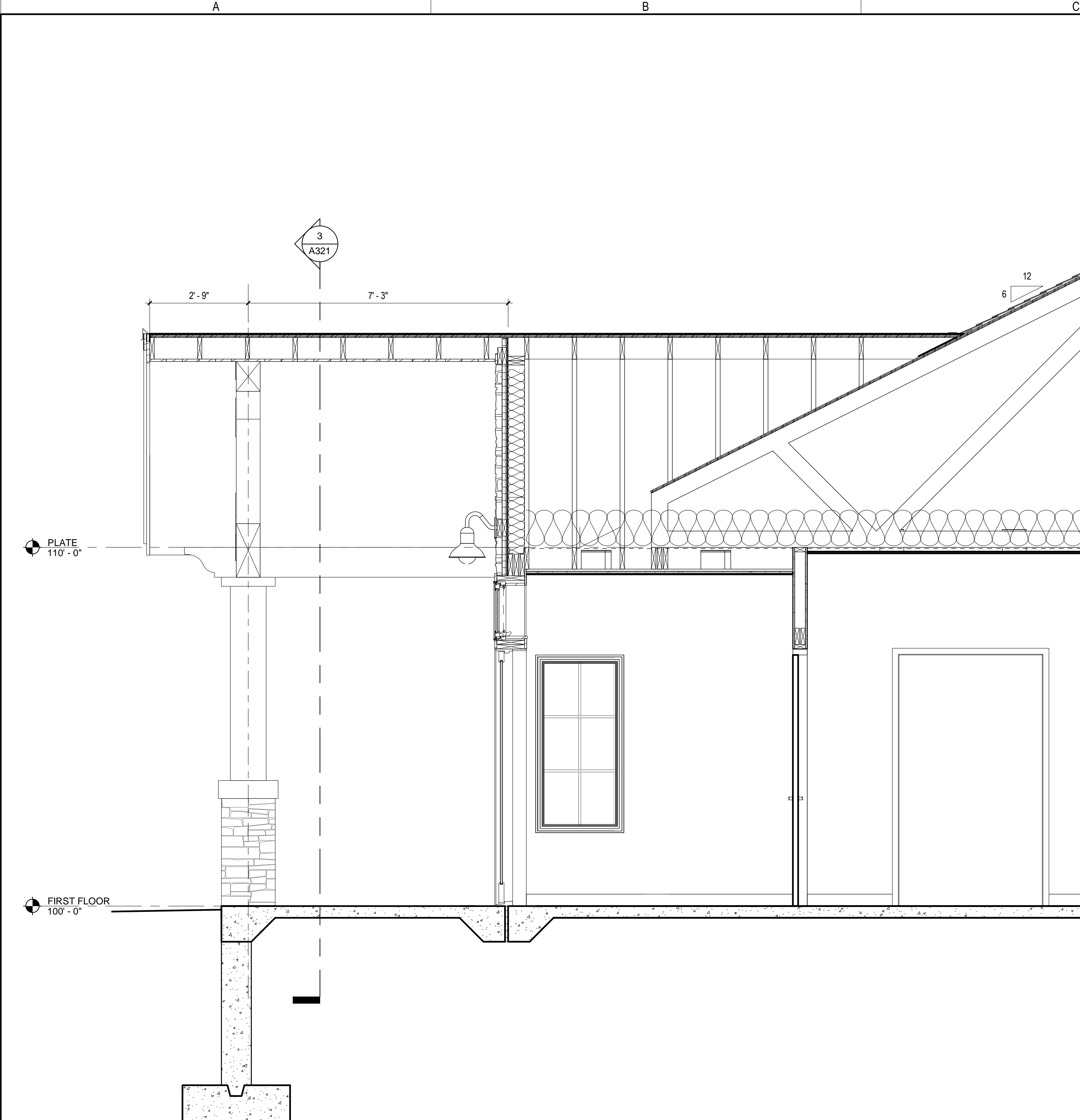
REVISION	DATE	COMMENTS

WALL SECTIONS

# A321

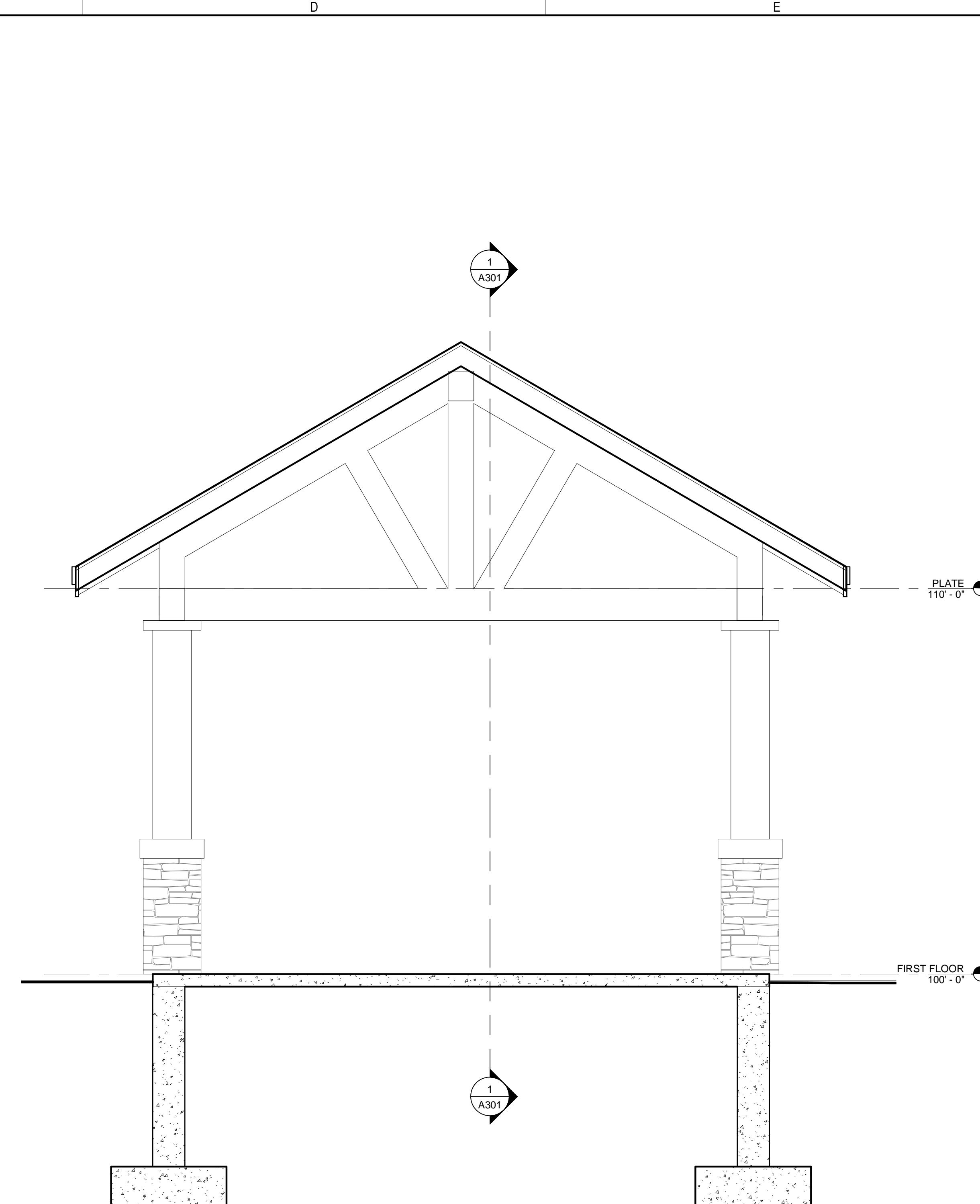
SHEET NUMBER: 18 OF 25 ARCHITECTURAL  
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**1** ENTRY SECTION  
A301 1/2" = 1'-0"

**CANOPY DETAILS**



**3** ENTRY CANOPY SECTION  
A321 1/2" = 1'-0"

PLAN KEY:

PROJECT TITLE / ADDRESS:  
**CAMP ALLEN DINING HALL**  
 56 CAMP ALLEN ROAD  
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**DESIGN DEVELOPMENT**

REVISION	DATE	COMMENTS

WALL SECTIONS

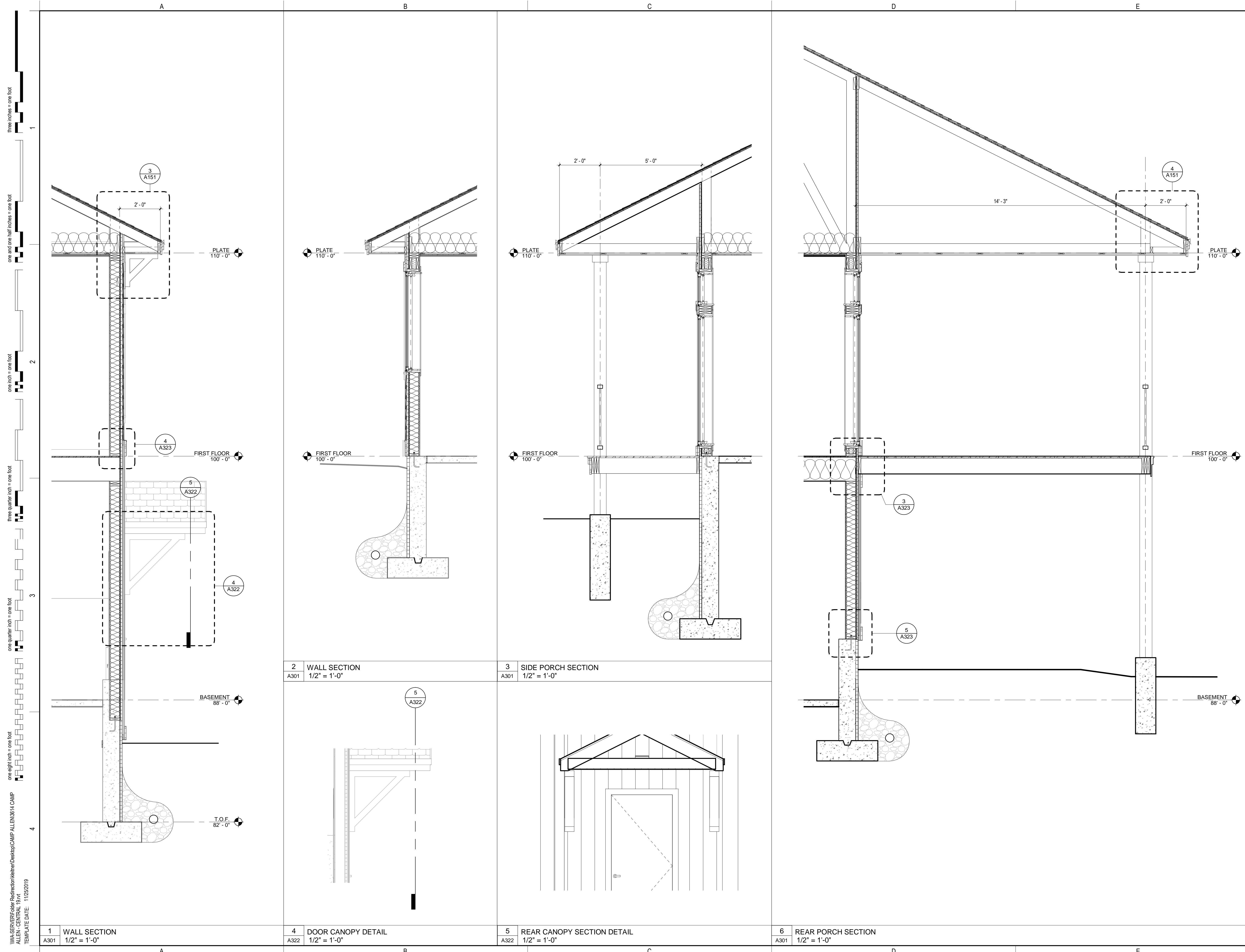
# A322

SHEET NUMBER: 19 OF 25 ARCHITECTURAL

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1 WALL SECTION  
 A301 1/2" = 1'-0"

2 WALL SECTION  
 A301 1/2" = 1'-0"

3 SIDE PORCH SECTION  
 A301 1/2" = 1'-0"

6 REAR PORCH SECTION  
 A301 1/2" = 1'-0"

4 DOOR CANOPY DETAIL  
 A322 1/2" = 1'-0"

5 REAR CANOPY SECTION DETAIL  
 A322 1/2" = 1'-0"

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PLAN KEY:

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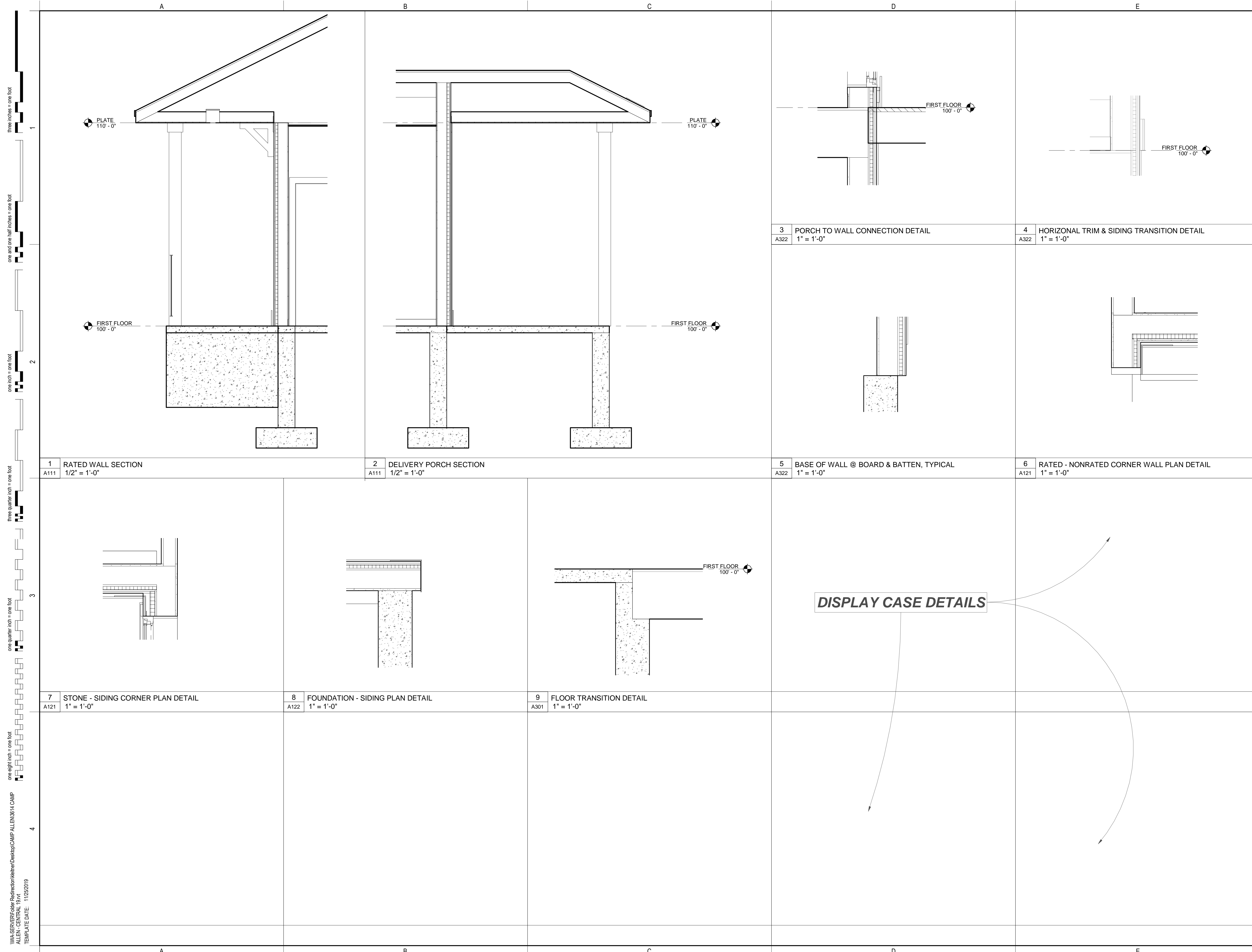
**NOT FOR CONSTRUCTION  
 DESIGN DEVELOPMENT**

REVISION	DATE	COMMENTS

WALL SECTIONS & DETAILS

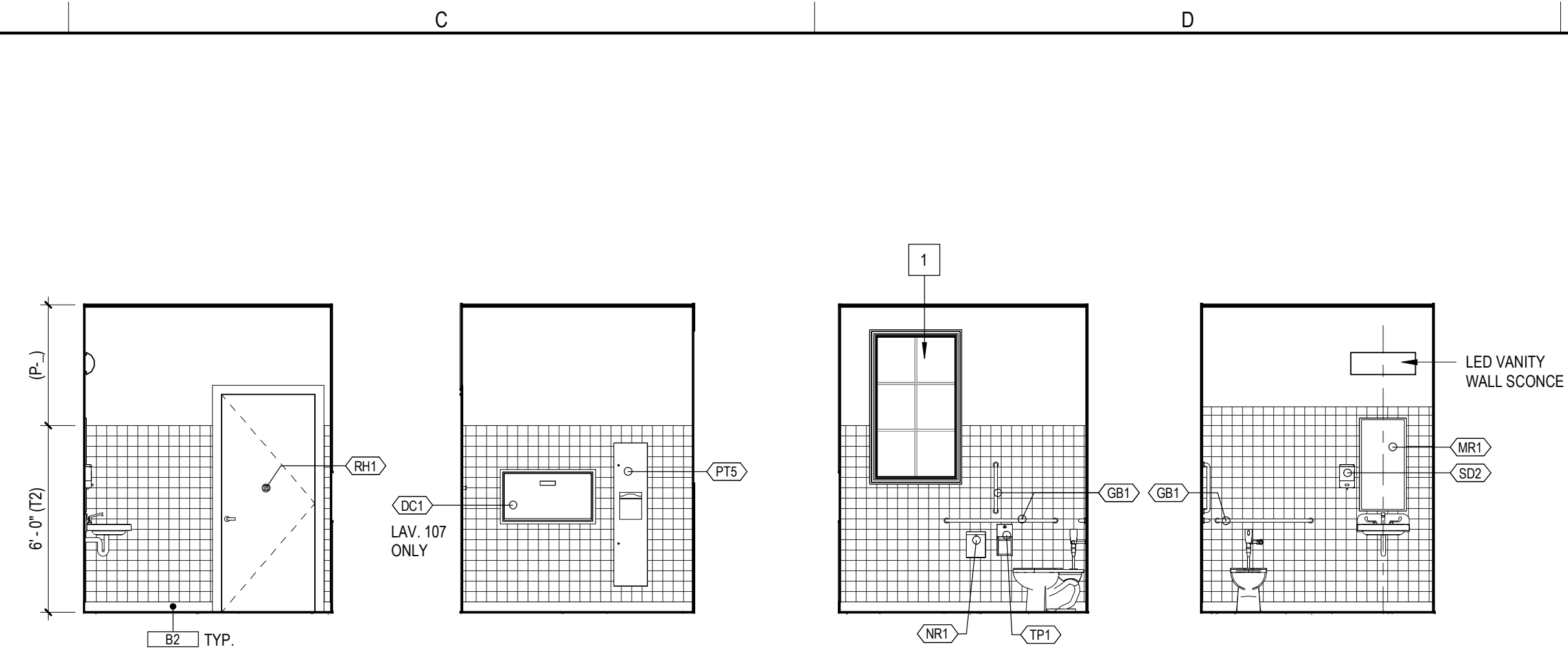
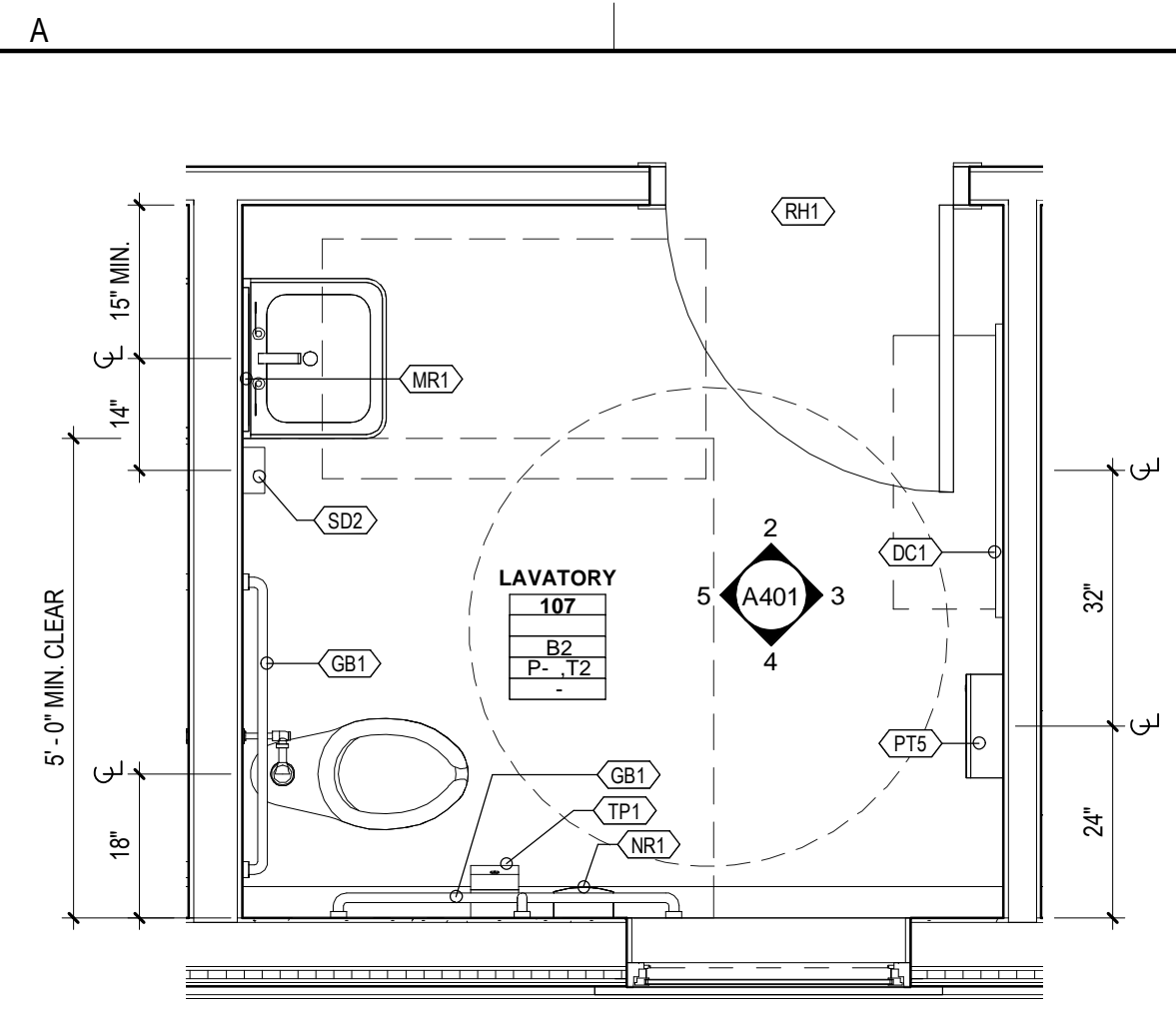
# A323

PROGRESS - NOT FOR CONSTRUCTION



three inches = one foot  
 one and one half inches = one foot  
 one inch = one foot  
 three quarter inch = one foot  
 one quarter inch = one foot  
 one eighth inch = one foot  
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 TEMPLATE DATE: 1/12/2019

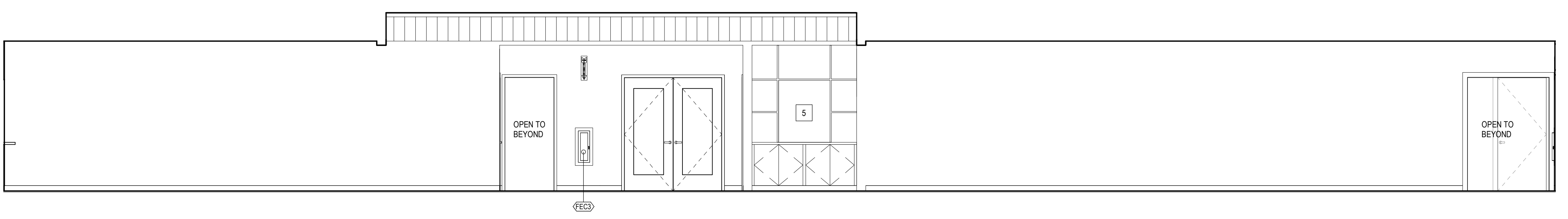
three inches = one foot  
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 TEMPLATE DATE: 11/28/2019



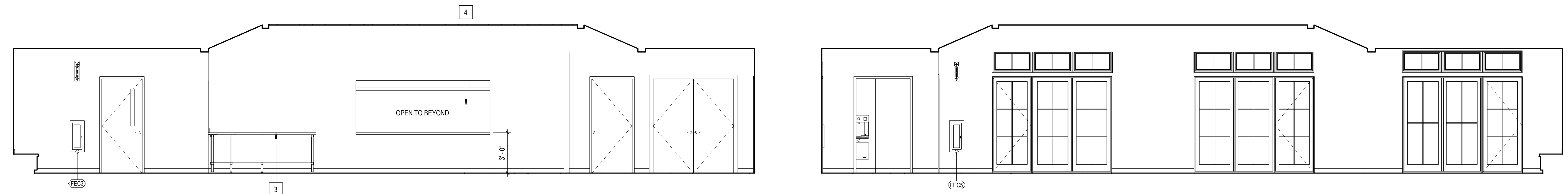
1 A111	LAVATORY 107 - SIM. 105, 106, & 108 1/2" = 1'-0"	2 A401	107N 1/4" = 1'-0"	3 A401	107E 1/4" = 1'-0"	4 A401	107S 1/4" = 1'-0"	5 A401	107W 1/4" = 1'-0"
-----------	---	-----------	----------------------	-----------	----------------------	-----------	----------------------	-----------	----------------------



6 A111	102AN 1/4" = 1'-0"
-----------	-----------------------



7 A111	102AS 1/4" = 1'-0"
-----------	-----------------------



8 A111	102AE 1/4" = 1'-0"	9 A111	102AW 1/4" = 1'-0"
-----------	-----------------------	-----------	-----------------------

**INTERIOR ELEVATION NOTES**

- REVIEW PRIOR TO ROUGH-IN. ANY CONFLICT OF ENGINEERING TRADE DEVICES WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
- PROVIDE BLOCKING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
- COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.
- CONFIRM DIMENSIONS OF OWNER SUPPLIED APPLIANCES OR EQUIPMENT PRIOR TO ORDERING FIXED CASEWORK.

**PLAN & ELEVATION LEGEND**

- ACCESSORY TAG. SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
- MATERIAL TAG. SEE MATERIAL SCHEDULE
- CASEWORK TAG. SEE CASEWORK TYPES
- KEYNOTE. SEE PLAN & ELEV KEYNOTE LEGEND

**PLAN & ELEV KEYNOTES**

- 1 PRIVACY WINDOW TREATMENT TBD
- 2 BENCH. SEE DETAIL 12 / A402
- 3 STAINLESS STEEL SERVICE TABLE BY OTHERS
- 4 OVERHEAD COILING DOOR
- 5 DISPLAY CABINET. SEE DETAIL
- 6 KITCHEN EQUIPMENT BY OTHERS
- 7 EXHAUST HOOD BY OTHERS
- 8 STACK WASHER/DRYER PROVIDED BY OWNER. INSTALLED BY G.C. PROVIDE POWER, WATER, DRAIN & VENTING PER UNIT SPEC.
- 9 30"x30" MOP SINK. PROVIDE FRP WALL PROTECTION @ REAR & SIDE WALL

**WA**  
**WARRENSTREET ARCHITECTS**  
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PLAN KEY:

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**ENLARGED PLANS AND INTERIOR ELEVATIONS**

**A401**

SHEET NUMBER: 21 OF 25 ARCHITECTURAL  
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REVISION	DATE	COMMENTS

**INTERIOR ELEVATION NOTES**

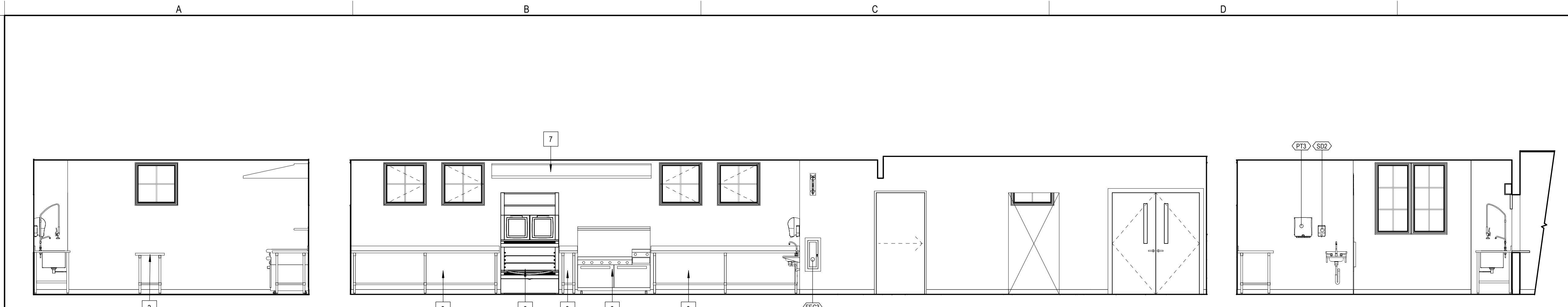
- REVIEW PRIOR TO ROUGH-IN. ANY CONFLICT OF ENGINEERING TRADE DEVICES WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
- PROVIDE BLOCKING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
- COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.
- CONFIRM DIMENSIONS OF OWNER SUPPLIED APPLIANCES OR EQUIPMENT PRIOR TO ORDERING FIXED CASEWORK.

**PLAN & ELEVATION LEGEND**

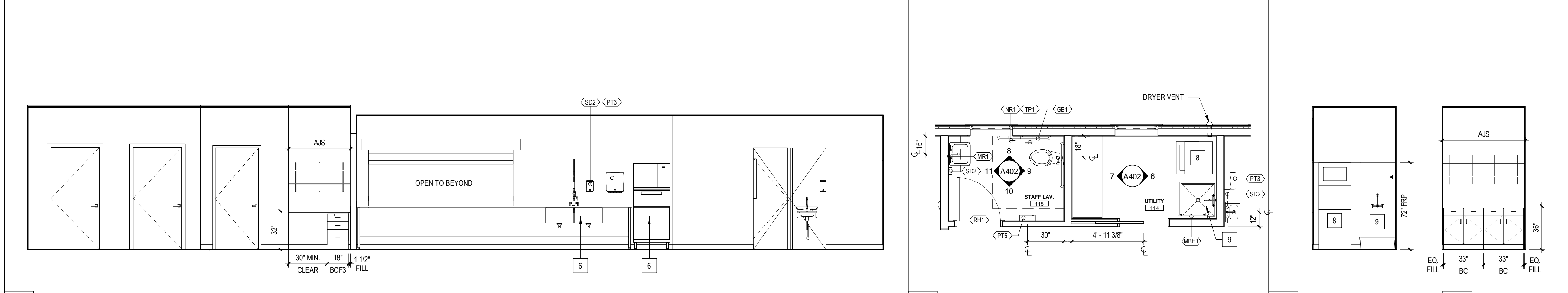
- ACCESSORY TAG. SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
- MATERIAL TAG. SEE MATERIAL SCHEDULE
- CASEWORK TAG. SEE CASEWORK TYPES
- KEYNOTE. SEE PLAN & ELEV KEYNOTE LEGEND

**PLAN & ELEV KEYNOTES**

- PRIVACY WINDOW TREATMENT TBD
- BENCH. SEE DETAIL 12 / A402
- STAINLESS STEEL SERVICE TABLE BY OTHERS
- OVERHEAD COILING DOOR
- DISPLAY CABINET. SEE DETAIL
- KITCHEN EQUIPMENT BY OTHERS
- EXHAUST HOOD BY OTHERS
- STACK WASHER/DRYER PROVIDED BY OWNER. INSTALLED BY G.C. PROVIDE POWER, WATER, DRAIN & VENTING PER UNIT SPEC.
- 30"x30" MOP SINK. PROVIDE FRP WALL PROTECTION @ REAR & SIDE WALL



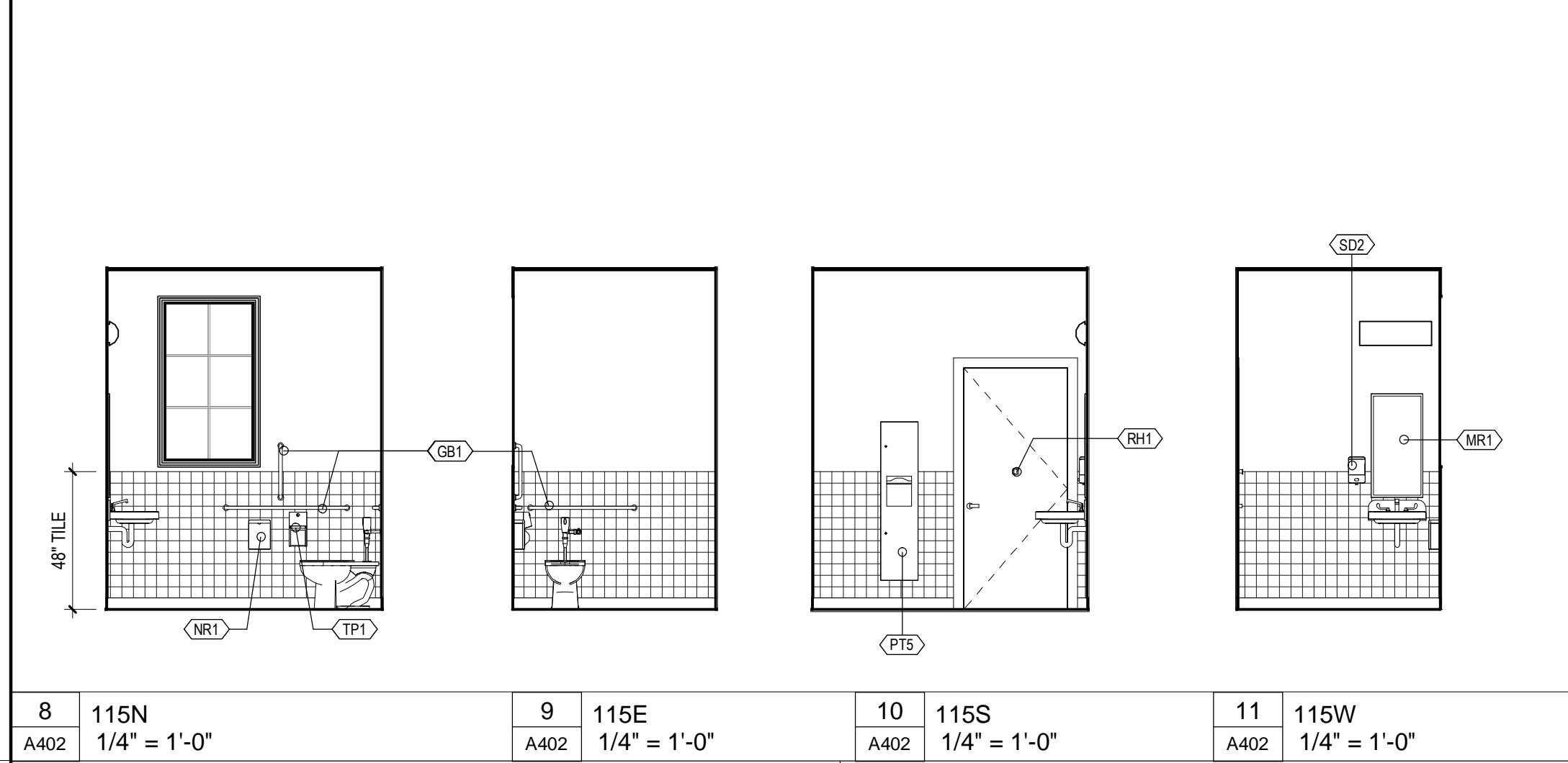
1 111N 1/4" = 1'-0"  
 2 111E 1/4" = 1'-0"  
 3 111S 1/4" = 1'-0"



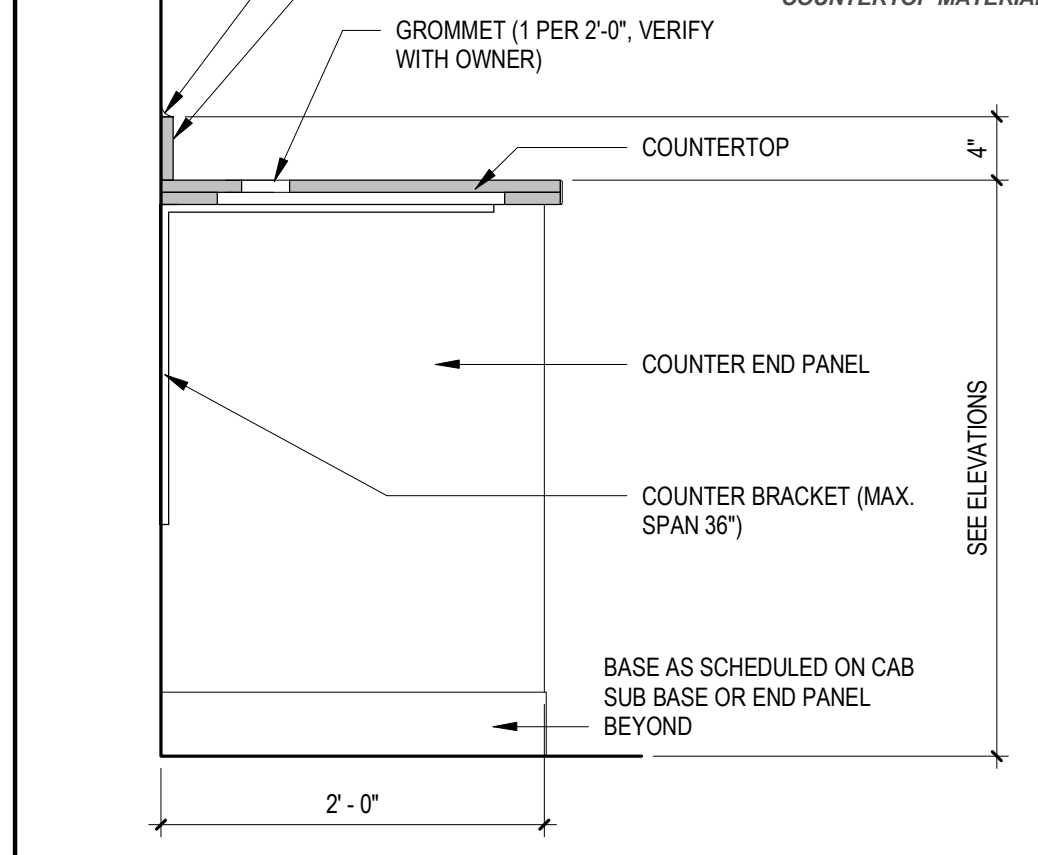
4 111W 1/4" = 1'-0"  
 5 UTILITY 114 & STAFF LAV. 115 1/4" = 1'-0"  
 6 114E 1/4" = 1'-0"  
 7 114W 1/4" = 1'-0"

**ACCESSORIES LEGEND**

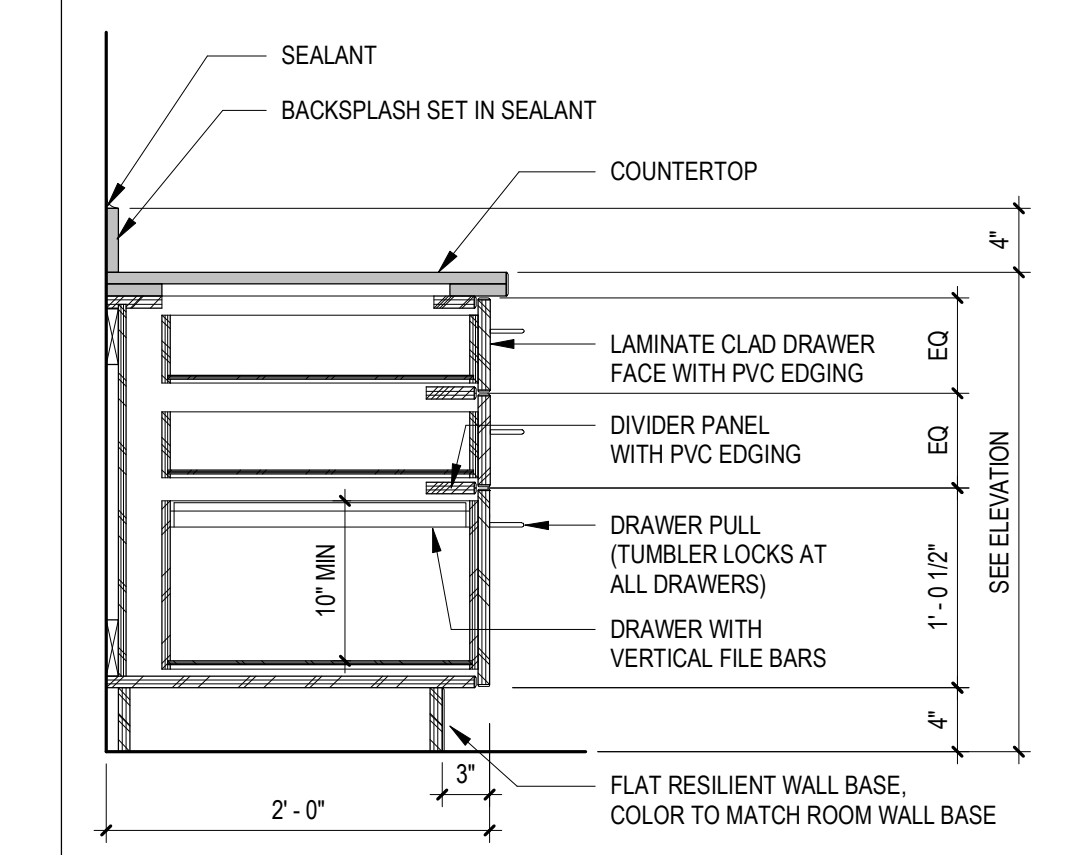
10 44 00 FIRE EXTINGUISHER CABINET - FIRE RATED	10 28 00 MOP AND BROOM HOLDER	10 28 13.19 HAND SANITIZER	10 28 00 PAPER TOWEL DISPENSER	10 28 00 SOAP DISPENSER	10 28 00 GRAB BAR	10 28 00 MIRROR	10 28 00 TOILET PAPER DISPENSER	10 28 00 COMBINATION TOWEL DISPENSER & WASTE RECEPTACLE	10 28 00 SANITARY NAPKIN RECEPTACLE	10 28 00 ROBE HOOK	10 28 00 DIAPER CHANGING STATION
FULLY-RECESSED MOUNTED	FURNISHED BY OWNER. INSTALLED BY CONTRACTOR	FURNISHED BY OWNER. INSTALLED BY CONTRACTOR	SURFACE MOUNTED. VERIFY LOCATIONS IN FIELD WITH OWNER	SURFACE MOUNTED. VERIFY LOCATIONS IN FIELD WITH OWNER	SURFACE MOUNTED	SURFACE MOUNTED. VERIFY LOCATIONS IN FIELD WITH OWNER	SURFACE MOUNTED. VERIFY LOCATIONS IN FIELD WITH OWNER	SURFACE MOUNTED. VERIFY LOCATIONS IN FIELD WITH OWNER	SURFACE MOUNTED. VERIFY LOCATIONS IN FIELD WITH OWNER	SURFACE MOUNTED	RECESS MOUNTED. VERIFY LOCATIONS IN FIELD WITH OWNER
PLAN	PLAN	PLAN	PLAN	PLAN	PLAN	PLAN	PLAN	PLAN	PLAN	PLAN	PLAN
6'-6"	6'-6"	5'-0"	3'-2"	3'-8"	3'-8"	3'-8"	3'-4"	3'-0"	3'-8"	4'-0" ADA	3'-0"
ELEVATION	ELEVATION	ELEVATION	SIDE ELEVATION	ELEVATION	ELEVATION	ELEVATION	ELEVATION	ELEVATION	ELEVATION	SIDE ELEVATION	ELEVATION



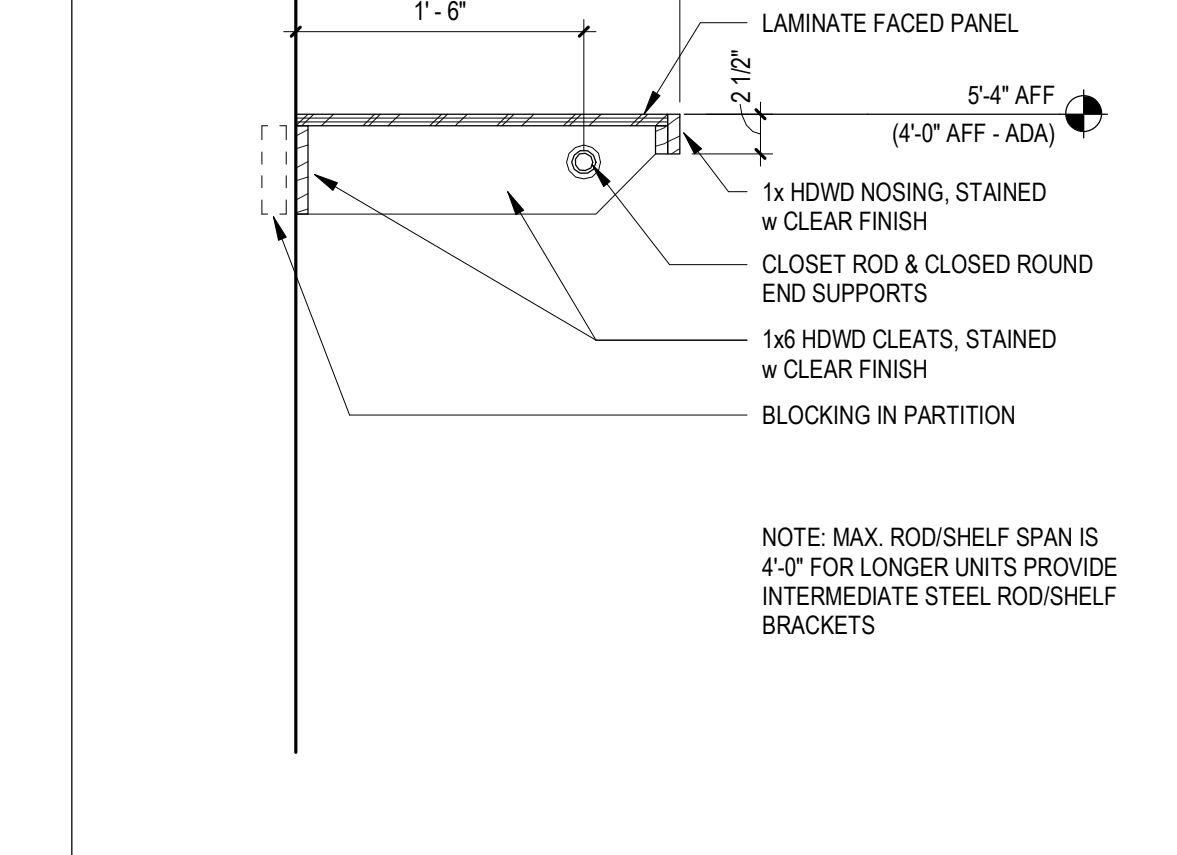
8 115N 1/4" = 1'-0"  
 9 115E 1/4" = 1'-0"  
 10 115S 1/4" = 1'-0"  
 11 115W 1/4" = 1'-0"



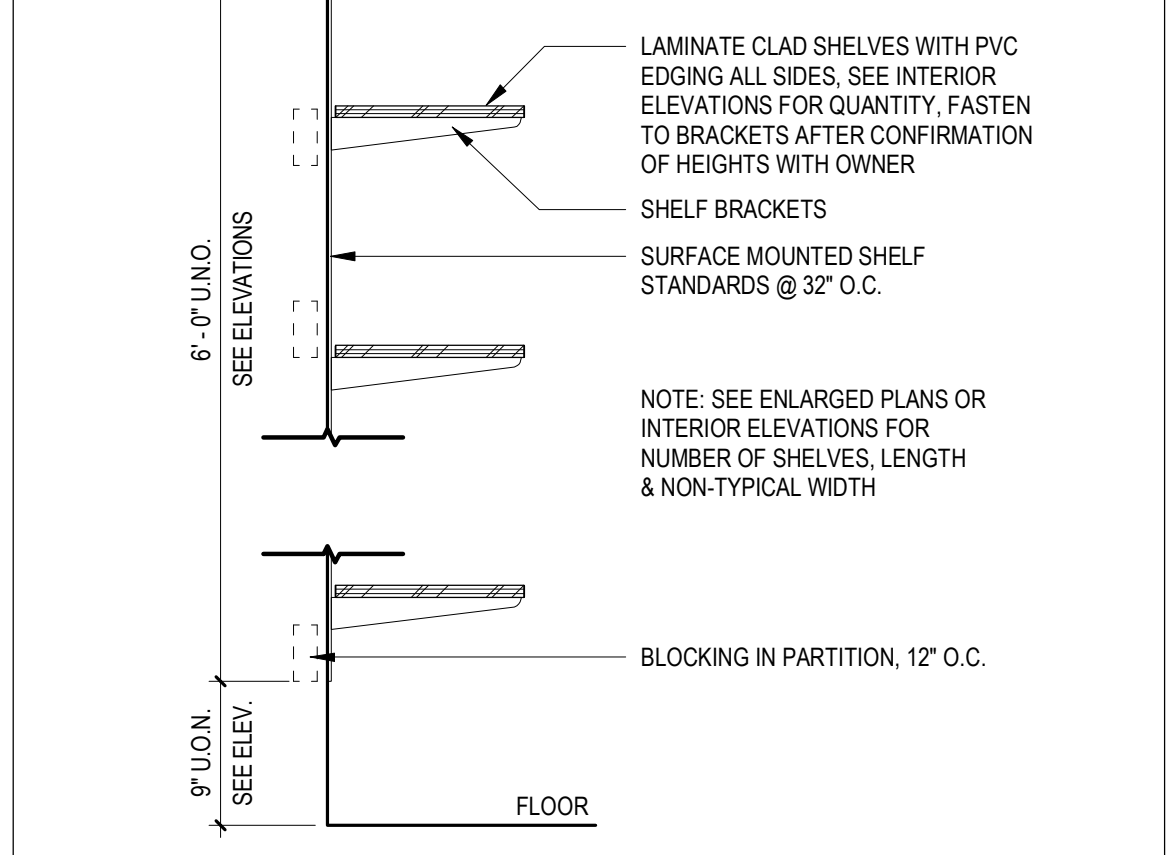
**OCS OPEN COUNTER SECTION (CONCEALED BRACKETS)**  
 1" = 1'-0"



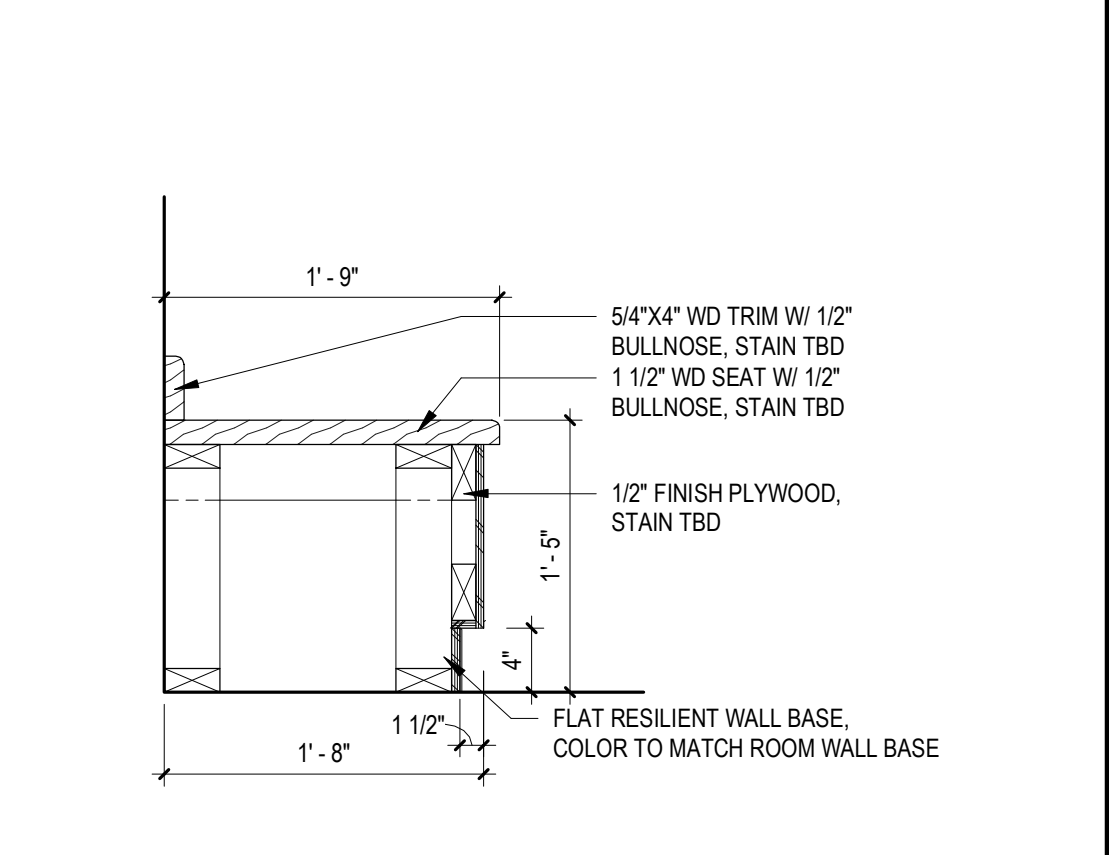
**BCF3 BASE CABINET BOTTOM FILE DRAWER**  
 1" = 1'-0"



**CRS COAT ROD and SHELF**  
 1" = 1'-0"



**AJS ADJUSTABLE SHELVING**  
 1" = 1'-0"



**12 BENCH SEAT**  
 1" = 1'-0"

three inches = one foot  
 one and one half inches = one foot  
 one inch = one foot  
 three quarter inch = one foot  
 one quarter inch = one foot  
 one eighth inch = one foot  
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DOOR AND FRAME SCHEDULE

TAG #	LOCATION				DOOR					FRAME					HARDWARE				SIGNAGE		COMMENTS				
	ROOM NAME	ROOM #	ROOM NAME	ROOM #	WIDTH	HEIGHT	TYPE	MATL	FINISH	GLAZING TYPE	THICK	CONFIG	TYPE	MATL	FINISH	HEAD	JAMB	SILL	FIRE RATING	ANSI FUNCTION		FUNCTION DESCRIPTION	SET #	TYPE	TEXT
003.1	EXTERIOR		SPRINKLER	002	3'-0"	7'-0"				(none)	1 3/4"	SINGLE								(none)					
003.2	EXTERIOR		UNFINISHED STORAGE	003	3'-0"	7'-0"				(none)	1 3/4"	SINGLE								(none)					
101.1	EXTERIOR		VESTIBULE	101	6'-0"	7'-2"				(none)	1 3/4"	PAIR								(none)					
101.2	VESTIBULE	101	DINING HALL	102	6'-0"	7'-0"				(none)	1 3/4"	PAIR								(none)					
102A	EXTERIOR		DINING HALL	102	3'-0"	7'-2"				(none)	1 3/4"	(3) PANEL, (1) OP.								(none)					
102B.1	EXTERIOR		DINING HALL	102	3'-0"	7'-2"				(none)	1 3/4"	(3) PANEL, (1) OP.								(none)					
102B.2	EXTERIOR		DINING HALL	102	3'-0"	7'-2"				(none)	1 3/4"	(3) PANEL, (1) OP.								(none)					
103	DINING HALL	102	COAT ROOM	103	3'-0"	7'-0"				(none)	0"	CASED OPENING								(none)					
104.1	ANTI-ROOM	104A	DINING HALL	102	4'-0"	7'-0"				(none)	0"	CASED OPENING								(none)					
104.2	DINING HALL	102	ANTI-ROOM	104A	5'-0"	7'-0"				(none)	0"	CASED OPENING								(none)					
104A	ANTI-ROOM	104A	CLOSET	104A	3'-0"	7'-0"				(none)	1 3/4"	SINGLE								(none)					
105	LAVATORY	105	ANTI-ROOM	104A	3'-0"	7'-0"				(none)	1 3/4"	SINGLE								(none)					
106	ANTI-ROOM	104A	LAVATORY	106	3'-0"	7'-0"				(none)	1 3/4"	SINGLE								(none)					
107	LAVATORY	107	ANTI-ROOM	104A	3'-0"	7'-0"				(none)	1 3/4"	SINGLE								(none)					
108	ANTI-ROOM	104A	LAVATORY	108	3'-0"	7'-0"				(none)	1 3/4"	SINGLE								(none)					
109.1	EXTERIOR		DELIVERY	109	6'-0"	7'-0"				(none)	1 3/4"	PAIR								(none)					
109.2	DINING HALL	102	DELIVERY	109	3'-0"	7'-0"				(none)	1 3/4"	SINGLE								(none)					
110	DINING HALL	102	TABLE & CHAIR STORAGE	110	6'-0"	7'-0"				(none)	1 3/4"	PAIR								(none)					
111	DINING HALL	102	KITCHEN	111	10'-0"	4'-0"				(none)	1 1/2"	O.H.								(none)					
112	DELIVERY	109	STORAGE	112	3'-4"	7'-0"				(none)	1 3/8"	SINGLE								(none)					
113	EXTERIOR	003			3'-0"	7'-0"				(none)	1 3/4"	SINGLE								(none)					
113.1	DINING HALL	102	DISHWASH	113	3'-0"	7'-0"				(none)	1 3/4"	SINGLE								(none)					
113.2	DINING HALL	102	DISHWASH	113	4'-0"	4'-0"				(none)	1"	O.H.								(none)					
114	DISHWASH	113	UTILITY	114	3'-4"	7'-0"				(none)	1 3/8"	SINGLE								(none)					
115	DISHWASH	113	STAFF LAV.	115	3'-0"	7'-0"				(none)	1 3/4"	SINGLE								(none)					
116	EXTERIOR	001	UNFINISHED STORAGE	003	3'-0"	7'-0"				(none)	1 3/4"	SINGLE								(none)					

HARDWARE SETS

SET #1 - AUTOMATIC ENTRY - PAIR EXTERIOR 6 HINGES 1 AUTOMATIC DOOR OPERATOR 2 REMOTE ADA AUTOMATIC DOOR ACTIVATORS, ELEC. OPER. 1 DOOR POSITION INDICATOR 1 PIA CLOSER 2 PULL BARS 2 PUSH PLATES 2 KICKPLATES 1 ACCESSIBLE THRESHOLD 2 DOOR BOTTOMS 1 SET WEATHERSTRIPPING	SET #2 - AUTOMATIC ENTRY - SINGLE EXTERIOR 3 HINGES 1 AUTOMATIC DOOR OPERATOR 2 REMOTE ADA AUTOMATIC DOOR ACTIVATORS, ELEC. OPER. 1 DOOR POSITION INDICATOR 1 PULL BAR 1 PUSH PLATE 1 KICKPLATE 1 ACCESSIBLE THRESHOLD 1 DOOR BOTTOM 1 SET WEATHERSTRIPPING	SET #3 - AUTOMATIC ENTRY - PAIR INT VESTIBULE 6 HINGES 1 AUTOMATIC DOOR OPERATOR 2 REMOTE ADA AUTOMATIC DOOR ACTIVATORS, ELEC. OPER. 1 DOOR POSITION INDICATOR 1 CLOSER 2 PULL BARS 2 PUSH PLATES 4 KICKPLATES	SET #4 - AUTOMATIC ENTRY - SINGLE EXTERIOR 3 HINGES 1 AUTOMATIC DOOR OPERATOR 2 REMOTE ADA AUTOMATIC DOOR ACTIVATORS, ELEC. OPER. 1 DOOR POSITION INDICATOR 1 PULL BAR 1 PUSH PLATE 2 KICKPLATES	SET #5 - EXIT - PAIR EXTERIOR 6 HINGES 2 VERT. ROD FIRE EXIT PANIC DEVICES W/ LEVER HANDLES 2 ASSA CYLINDERS 2 PIA CLOSERS W/ INTEGRAL OVERHEAD STOPS 1 ACCESSIBLE LATCHING PANIC EXIT SADDLE 2 KICKPLATES 2 DOOR BOTTOMS 1 SET WEATHERSTRIPPING	SET #6 - EXIT - SINGLE EXTERIOR 3 HINGES 1 RIM FIRE EXIT PANIC DEVICES W/ LEVER HANDLES 1 ASSA CYLINDER 1 PIA CLOSERS W/ INTEGRAL OVERHEAD STOP 1 KICKPLATE 1 ACCESSIBLE THRESHOLD 1 DOOR BOTTOM 1 SET WEATHERSTRIPPING	SET #7 - SINGLE EXTERIOR 3 HINGES 1 LEVER ENTRANCE LOCK 1 ASSA CYLINDER 1 PIA CLOSERS W/ INTEGRAL OVERHEAD STOP 1 KICKPLATE 1 ACCESSIBLE THRESHOLD 1 DOOR BOTTOM 1 SET WEATHERSTRIPPING 3 SILENCERS	SET #8 - PAIR EXTERIOR 6 HINGES 2 PUSH PLATES 2 PULL BARS 1 DEADBOLT 1 ASSA CYLINDER 2 CLOSERS W/ INTEGRAL OVERHEAD STOP 2 KICKPLATES 2 DOOR BOTTOMS 1 SET WEATHERSTRIPPING 6 SILENCERS	SET #9 - OFFICE DOOR - PAIR INTERIOR 6 HINGES 2 FLUSHBOLTS, TAB 1 LEVER OFFICE LOCKSET 1 ASSA CYLINDER 1 DUMMY LEVER 2 CLOSERS 1 COORDINATOR 2 STOPS 4 KICKPLATES 6 SILENCERS	SET #10 - OFFICE DOOR - SINGLE INTERIOR 3 HINGES 1 LEVER OFFICE LOCKSET 1 ASSA CYLINDER 1 CLOSER 1 STOP 2 KICKPLATES 3 SILENCERS	SET #11 - RESTROOM DOOR - SINGLE 3 HINGES 1 LEVER PRIVACY LOCKSET 1 CLOSER 1 STOP 2 KICKPLATES 3 SILENCERS	SET #12 - RESTROOM DOOR - SINGLE BREAKAWAY 2 DOUBLE ACTING SPRING HINGE DOOR PIVOTS 1 LEVER PRIVACY LOCKSET 1 DOUBLE-LIPPED STRIKE 2 KICKPLATES 1 EMERGENCY STOP	SET #13 - DOUBLE ACTING - PAIR 6 DOUBLE ACTING SPRING HINGES 1 DEADBOLT 1 ASSA CYLINDER 1 FLUSHBOLT 4 KICKPLATES 4 STOPS	SET #14 - STOREROOM DOOR - SINGLE 3 HINGES 1 LEVER LOCKSET, STOREROOM 1 CLOSER 2 KICKPLATES 1 STOP 3 SILENCERS	SET #15 - PASSAGE DOOR - SINGLE 3 HINGES 1 LEVER PASSAGE SET 1 CLOSER 2 KICKPLATES 1 STOP 3 SILENCERS	SET #16 - BI-PASS DOOR OR WINDOW 1 MFGRS STANDARD BI-PASS TRACK 1 KEYS BI-PASS DOOR OR WINDOW LOCK, REFER TO WINDOW ELEVS	SET #17 - POCKET DOOR 1 MFGRS STD POCKET DOOR TRACK 1 KEYS POCKET DOOR LOCK 2 FLUSH PULLS	SET #18 - SCREEN DOOR 3 SCREEN DOOR HINGES (2-SPRING HINGES / 1-STANDARD HINGE) 1 LEVER LATCH W/ STRIKE
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GENERAL NOTES

- SEE SHEET A002 OR PROJECT MANUAL FOR GLAZING TYPES.
- COORDINATE ALL HOLLOW METAL FRAME THROAT DIMENSIONS WITH PARTITION TYPES
- DOORS SHALL BE \_\_\_\_\_ W/ CLEAR FINISH.

TO BE EDITED

DOOR SCHEDULE LEGEND

WD	WOOD VENEER WITH FACTORY FINISH
ALUM	ALUMINUM
ALUM/FG	ALUMINUM FRAME/ FIBERGLASS PANELS
HM	HOLLOW METAL
FF	FACTORY FINISH
PT-___	PAINTED, SEE INTERIOR FINISH KEY FOR COLOR CODE REFERENCE.

TO BE EDITED

DOOR SCHEDULE NOTES

- \_\_\_\_\_

TO BE EDITED

GLAZING TYPES (Door...)

TAG	TYPE	FIRE RATING	DESCRIPTION / BASIS OF DESIGN

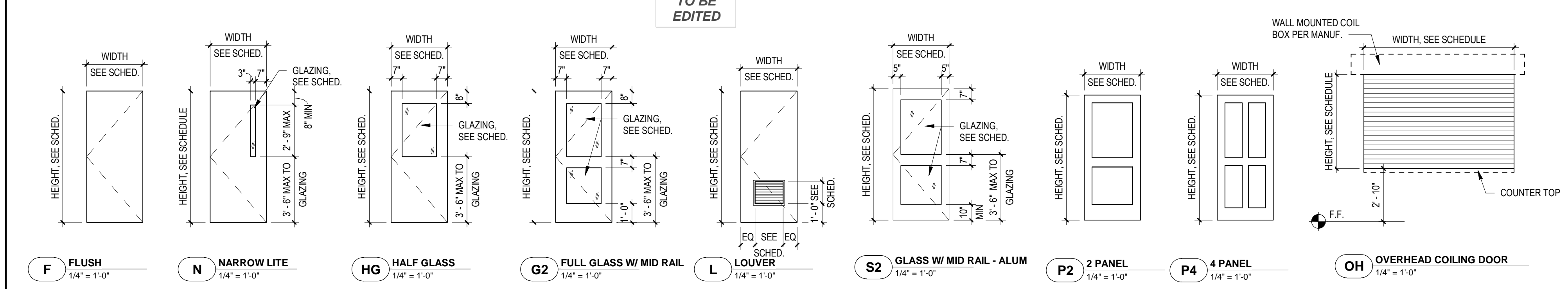
TO BE EDITED

GENERAL WINDOW NOTES

- ALL WINDOW OPENINGS ARE TO BE FIELD VERIFIED. FRAME DIMENSIONS MAY VARY DUE TO FIELD MEASUREMENTS, WINDOW MANUFACTURERS, CONSTRUCTION TOLERANCES, ETC.
- INDICATED MANUFACTURER USED FOR DESIGN STANDARD AND LAYOUT. SEE SPECIFICATION FOR ADDITIONAL ACCEPTABLE MANUFACTURERS.
- ALL WINDOW AT "0" R.O.H., UNLESS NOTED OTHERWISE.
- SEE SHEET A0-2 OR PROJECT MANUAL FOR GLAZING TYPES.
- PROVIDE TEMPERED GLAZING AS REQUIRED BY CODE.
- PROVIDE WINDOW GLAZING OF SUFFICIENT STRUCTURAL STRENGTH FOR SIZE AND APPLICATION OF INTERIOR AND EXTERIOR WINDOWS.
- PROVIDE FULL INSECT SCREEN AT ALL OPERABLE WINDOWS.
- WINDOW TYPES ARE DRAWN AS VIEWED FROM THE EXTERIOR.
- ALL WINDOW HARDWARE SHALL BE CLEAR ANODIZED ALUMINUM.
- CONSTRUCTION SUPERINTENDENT SHALL COORDINATE WINDOW AND LOUVER ROUGH OPENING DIMENSIONS WITH FLASHING REQUIREMENTS BEFORE FRAMING OPENINGS.
- WINDOW COLOR: \_\_\_\_\_

TO BE EDITED

DOOR ELEVATIONS



FRAME ELEVATIONS



WINDOW SCHEDULE

LETTER	MANUF. NUMBER	DIMENSIONS			EXTERIOR FRAME MATERIAL	INTERIOR FRAME		EGRESS	REMARKS
		ROUGH OPENING	MASONRY OPENING			MATERIAL	FINISH		
A	PICTURE								
A1	PICTURE								
B	PICTURE								
C	PICTURE								
D	CASEMENT								
E	(2) MULL PICTURE								
F	(3) MULL TRANSOM								
G	(3) MULL CASEMENT								
H	(3) MULL PICTURE								
I	(2) MULL TRANSOM								

WINDOW ELEVATIONS



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56 CAMP ALLEN ROAD  
BEDFORD, NH 03110

HARVEY CONSTRUCTION  
CONSTRUCTION MANAGER  
10 HARVEY ROAD  
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PROGRESS - NOT FOR CONSTRUCTION

PROJECT TITLE / ADDRESS:  
CAMP ALLEN  
DINING HALL  
56 CAMP ALLEN ROAD  
BEDFORD, NH 03110

SCALE: AS NOTED DWN BY: KL  
JOB #: 3614 CHK BY: SD  
PRINT DATE: 6/2/2020 1:20:15 PM

ISSUE DATE:  
NOT FOR CONSTRUCTION  
DESIGN DEVELOPMENT

REVISION	DATE	COMMENTS

DOOR & WINDOW SCHEDULES & ELEVATIONS

**A603**  
SHEET NUMBER: 24 OF 25 ARCHITECTURAL

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W:\SERVER\order\_Redirection\Viewer\Desktop\CAMP ALLEN\3614 CAMP ALLEN - CENTRAL 15.rvt  
TEMPLATE DATE: 11/25/2019

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 TEMPLATE DATE: 1/22/2019



**CAMP ALLEN**  
 56 CAMP ALLEN ROAD  
 BEDFORD, NH  
 03110

**HARVEY CONSTRUCTION**  
 CONSTRUCTION MANAGER  
 10 HARVEY ROAD  
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PLAN KEY:

PROJECT TITLE / ADDRESS:  
**CAMP ALLEN DINING HALL**  
 56 CAMP ALLEN ROAD  
 BEDFORD, NH 03110

SCALE: AS NOTED DWN BY: KL  
 JOB #: 3614 CHK BY: SD  
 PRINT DATE: 6/2/2020 1:20:15 PM  
 ISSUE DATE:

NOT FOR CONSTRUCTION DESIGN DEVELOPMENT

REVISION	DATE	COMMENTS

DOOR & WINDOW DETAILS

**A611**  
 SHEET NUMBER: 25 OF 25 ARCHITECTURAL

**PROGRESS - NOT FOR CONSTRUCTION**